



High Desert  
Guidelines  
For  
Sustainability -  
Builder Homes

Revised  
August 21, 2018

In the mid-1990s as High Desert was being planned, the land was the remaining enclave of developable land between the Sandia Mountains and the eastern flank of the City of Albuquerque. In this dynamic zone, where nature and mankind merge, a special process unique to land development began to unfold.

As stewards of this land we are committed to the vision of a community conceived, designed and built to preserve nature's intricate balance.

Our goal is an integrated and sustainable community which honors its Southwestern roots and natural habitats while providing a place that will endure.

### **High Desert Residential Owners Association**

## **The Origins of High Desert**

The 1,000 acres that comprise High Desert have a rich legacy. Archaeological evidence indicates the area was occupied for generations by ancient and ancestral puebloan peoples. Though the original papers to the land that came to be known as the Elena Gallegos grant do not survive, several partial documents submitted to the Court of Private Land Claims during the adjudication of the grant in the late nineteenth century shed light on the grant's early history. The tract of land which came to be known as the Elena Gallegos grant was originally granted to Diego Montoya by Diego de Vargas in 1694, during the re-conquest of New Mexico following the Pueblo Revolt of 1680. It is possible that Hispanic colonists occupied the grant prior to the Pueblo Revolt, though no documentary evidence of this occupation survives today. The grant was reissued in 1712 and in the same year was either given or sold by either Montoya or his son to Elena Gallegos whose name came to be associated with the area into modern times. Interestingly, Gallegos was the widow of Jacques Grolet/Santiago Gurule, who was a former member of the ill-fated La Salle expedition (1687) in which French explorers attempted to stake a claim in Spanish territory. Through the years the land passed from generation to generation. In 1934, 9,000 acres of the grant was acquired by Albert Simms, a rancher, financier and U. S. Congressman along with his wife Ruth Hanna McCormick Simms. Upon Mr. Simms' death in 1964, the land was willed to Albuquerque Academy.

The City of Albuquerque ensured the preservation of the major portion of the land through purchase of 7,800 acres from the Academy. The City later conveyed the land to the Federal government, which incorporated it as part of the Cibola National Forest and Sandia Mountain Wilderness. The 680 acres retained by the City were converted to open space and the remaining acreage is the spectacular site that is now the community of High Desert.

## **Sustainable Development**

A resource as precious as the land which comprises High Desert demands the utmost sensitivity. Years of exacting analysis, planning, design and exhaustive review were applied to determine the feasibility of integrating an active community within this delicate, high desert ecosystem.

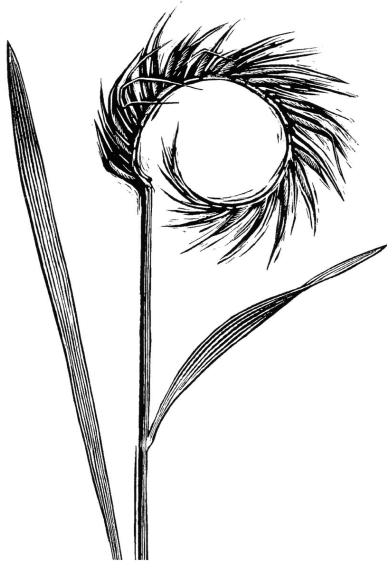
The mandate set for High Desert was to achieve “sustainable development.” Sustainable development is a concept defined by the United Nations Commission of the Environment as achieving stability for both physical and social systems by meeting the needs of current generations without compromising the ability of future generations to fulfill their needs.

At High Desert sustainability means design and construction in ways that are intended to preserve the resources, ecosystem and natural beauty of the property. Development respects nature. A large percentage of the land remains untouched in order that the rich habitats for plants and animals may continue to thrive. The arroyos remain in their natural state with only the vegetation enhanced to increase the wildlife habitat.

Conservation systems are designed to yield improved quality of life and sustainability. Water harvesting and conservation goals contribute to a continuing and plentiful supply of quality water. The application of design strives to enhance the visual and air quality at High Desert through sensitive siting of homes, landscaping, and use of lighting and construction standards. In addition, an extensive network of trails and pedestrian connections were planned to encourage fewer automobile trips within the community.

## Preserving the Vision

The prescription for designing and building a community which will be sustainable are set forth in these Guidelines. The criteria are provided as a starting point for the homeowner and High Desert to collaborate in preserving the vision for this remarkable community. Our goal is to make High Desert one of the most desirable places to live in the Southwest -- a community which balances the needs of the homeowner with a concern for the future of the environment.



### BLUE GRAMA

*Blades of grass stand proud and tall on the High Desert plain. As they prepare to reproduce, they assume a graceful spiral shape to cast their seeds to the earth. Nature's regenerative powers must be the inspiration for man's forms and systems.*

## **The Role of the High Desert New Construction Committee**

The New Construction Committee (NCC), of the High Desert Residential Home Owners Association (Association or HDROA), has exclusive jurisdiction over all original construction in High Desert. The NCC will review and approve all plans and applications for home construction, in accordance with the Guidelines for Sustainability (Guidelines) and will administer the Guidelines. Each proposed site plan and building design will be evaluated for appropriateness as to its compliance with the objectives of these Guidelines. All construction in High Desert must be in compliance with these Guidelines.

The NCC shall have full authority to amend the Guidelines; provided, however, any amendments to the Guidelines shall be subject to and shall not be effective without the approval of the HDROA Board of Directors. Amendments to the Guidelines shall apply only to construction commenced after the date of the amendment and shall not apply to require modifications to or removal of structures previously approved. The NCC and Modification Committee (MC) of the High Desert Residential Owners Association, effective January 20, 2014, shall use this amended version of the Guidelines when reviewing all applications for construction and modifications. This amended version of the Guidelines replaces and supersedes all previous versions for new construction and modifications in High Desert.

Any proposed modifications to homes, after a successful NCC final inspection at the completion of initial construction, will be administered by the MC in accordance with these Guidelines.

## **How to Use these Guidelines**

This document is structured for easy review and reference. It begins by introducing the design objectives for High Desert and describes the approach to site planning, architecture and landscape design.

It defines the steps for review and approval of projects within High Desert and presents the procedures to be followed during construction.

These Guidelines may not address every site plan, building, approval or construction issue at High Desert. The NCC may impose requirements or conditions for approval that are additional to these requirements or conditions specifically indicated in these Guidelines and may make interpretations of these Guidelines.

Community organizational documents, including the Declaration, By-Laws, Articles of Incorporation for the Association, the Covenants, Conditions and Restrictions (CC&Rs), and the various Guidelines documents may be obtained from the High Desert Office or the HDROA website at <http://www.highdesertliving.net>.

In addition to this parent document, there are Supplemental Guidelines that must be followed for each Builder Village and can be found on the above web site.

## **High Desert Design Guidelines for Builder Homes**

The Guidelines are separated into various sections for convenience. However, the Guidelines should be completely read to fully comprehend their intent. The Guidelines are divided into the following sections:

**Site Planning**

**Landscape**

**Architecture**

**Procedures for Approval Processing**

**Construction Regulations**

The architectural guidelines and procedures described, or depicted in these Guidelines are the criteria which must be met in order to build in the Builder areas of High Desert.

In addition, these Guidelines are not, and are not to be construed as, a recommendation or endorsement of any particular plan, design, or building material which may be contained herein the High Desert Residential Owners Association, Inc., its Board of Directors, NCC or MC.

Neither the Association, the Board, NCC, or MC shall be held liable or bear any responsibility for any injury, damages, or loss arising out of the manner or quality of construction on any property within High Desert or of any modifications thereto.

For purposes of this document the following definitions apply:

**Owner:** A person who holds fee simple title to real property, or a person acting lawfully on behalf of the person who holds title.

**Engineer:** A person licensed by the State of New Mexico to practice engineering. The specific license must be appropriate to the work – civil, structural, hydrologic, etc.

**Surveyor:** A person licensed by the State of New Mexico to practice land surveying.

**Builder:** A person under contract or otherwise responsible to the owner for construction on or modification to property held by the owner.

**Note:** In these Guidelines, unless otherwise specified, use of the term New Construction Committee (NCC) should be taken to include the Modifications Committee (MC) where modification to existing construction in High Desert is applicable.



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# SITE PLANNING

## Parking

Design Objective: To allow each resident adequate parking while minimizing the impact of the parking areas.

- Each Lot shall contain an enclosed garage, either attached or detached from the home structure with parking space for at least two automobiles.
- No exterior storage of recreational vehicles, trailers, boats or other recreational equipment will be permitted on any Lot.
- A minimum of two additional parking spaces should be provided on the Lot to accommodate guest parking. On street parking shall not be counted in satisfying this requirement.

## Driveways

Design Objective: To minimize the visual impact of the paved surface area.

- Driveways should be located so as to minimize their visual impact.
- No driveway entrance shall be designed as a “drive under” using beams or arches spanning the driveway, and no driveway entrance feature shall exceed 6 feet in height.
- Driveway widths and surface area should be minimized.
- Only one driveway will be permitted for each Lot.
- Unless required or specifically approved, driveways will not be allowed off of major streets.
- Exposed aggregate concrete (utilizing integral coloring), colored concrete, flagstone or native gravel are all encouraged driveway paving materials.
- Colored concrete should reflect the warm rich desert hues, be low in reflectivity and compatible with the surrounding natural environment
- With the approval of the NCC, freestanding site walls, bollards, planters or gate posts may be allowed at the driveway entrance to the street.
- Uncolored concrete may be used with approval of the NCC.

## Site Walls

**Design Objective:** The Southwest has a tradition of using walls to enclose outdoor spaces and to extend building masses and living areas into the landscape. Traditional walls were generally used as defensive measures and/or to keep out animals. High Desert seeks to apply this tradition without creating the harsh maze found in some suburban developments. Where possible, view walls and low walls are preferred to promote an open and inviting residential community and help preserve enjoyment of the natural environment.

Southwestern walls are typically constructed with considerable mass and thickness. View walls at High Desert include open structures that may appropriately be called fences but are structurally supported by pylons with sufficient mass to create a wall-like appearance.

### Site Wall Definitions

**Community Walls:** Community Walls shall conform to the standard design and specifications for High Desert. These are walls which provide security to the neighborhood. Community Walls can be solid for privacy and screening or open to provide views to open space and other amenities

**Privacy Walls or Party Walls:** Walls placed on or within the property to provide privacy and separation between homes, or to provide screening of less desirable views. Privacy Walls enclose private space and are attached to buildings.

**View Walls:** Walls that provide security but allow views through to open space or other amenities.

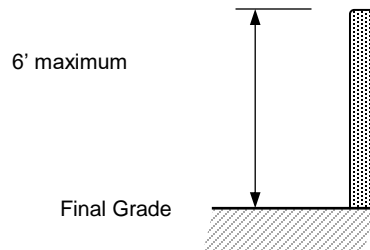
**Retaining Walls:** Walls that structurally create transitions between grade changes, integrate grade changes, integrate buildings with their site and which minimize the impact of grading.

### Site Wall Requirements

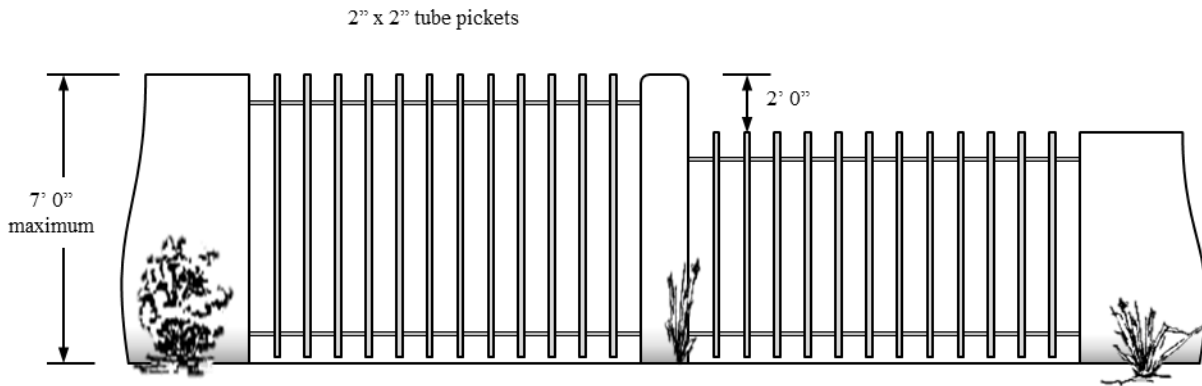
- Because of the importance of Community Walls to the overall appearance of the Builder Community and because the Association has maintenance responsibilities for the public side of the Community Walls, they may not be modified by homeowners without the approval of the Board and the MC or NCC. Should a homeowner wish to modify a Community Wall that abuts their lot, they may submit a request to the MC which shall determine if the modification is consistent with the Guidelines. If the MC determines that the requested change to the Community Wall is acceptable, the request will be forwarded to the Board for approval. Approval by the Board may only consider that the change to the Community Wall does not add unreasonably to the maintenance burden of the Association. Refer to the Board Policy for additional requirements and deposits to change a Community Wall.

- Homeowners must keep plant materials from growing on common walls and view fences. Furthermore, homeowner landscaping practices must not degrade the wall or view fence.
- Homeowners are responsible for correcting conditions caused by their landscape plant material or practices that make it difficult to inspect, maintain, or repair the common walls, view fences, and/or other common property.
- Examples of conditions that need to be corrected include but are not limited to:
  - Growth of plant material on the top of or on the outside of common walls
  - Growth of plant material through view fences in common walls
  - Growth of trees or large bushes scraping common walls or growing through view fences in common walls.
  - Watering or overwatering in a manner that produces efflorescence or white mineral deposits on the outside of the wall
- Where appropriate, walls should be extensions of the building.
- View Walls and Privacy Walls should be as low as possible with a maximum exposed height of 6 feet measured on the high side of the wall.

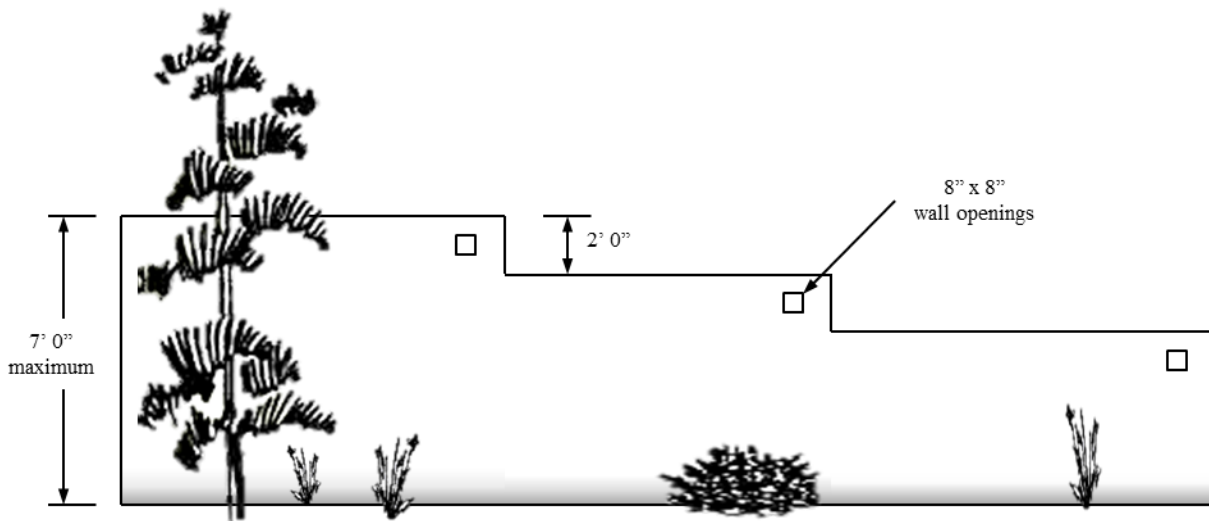
#### View or Privacy Wall



## Open Community Wall



## Solid Community Wall



- Broken glass, razor/concertina wire, etc., on top of walls is prohibited.
- Walls connecting with a building must be constructed of a material that visually matches, or complements the exterior building material. Retaining walls, constructed immediately adjacent to or connecting with a building, should be constructed of a material that visually matches the exterior building material or that is an integral material in the landscape, as approved by the NCC.
- No freestanding retaining wall shall exceed 4 feet in height.
- Grade changes that require retaining walls exceeding 4 feet must be terraced with a minimum 3' horizontal separation between each wall.
- Community walls must be designed and built to the standard High Desert specifications.

- Privacy and view walls should be designed to enhance the overall neighborhood theme, allow continuity in landscaping, and provide a visual amenity for the community.
- Consider designing privacy and view walls that overlap in order to create a series of spaces that visually link the project to the surrounding community, streets and open spaces.
- Consider using low walls and view walls to provide views from residences and create high transitions from street to buildings.
- Walls that are extensions of buildings shall be constructed of materials which match the building exterior.
- Walls should be as low as possible with a maximum height of:
  - 7'-0" for Community Walls on the exterior of parcel boundary or street side
  - 6'-0" for a wall on the interior of parcels
- Privacy or view walls shall join community walls at the same top of wall elevation, or lower.
- Privacy or view walls that are higher than community walls shall step down to the same top of wall elevation as community walls, at least 10 feet prior to point of connection.
- All surfaces of privacy or view walls must be finished with a minimum of two coats of stucco, or synthetic stucco, with medium sand finish on the public side.
- Privacy or view walls may be detailed and finished to community wall standards or may be designed to be compatible with the building architecture. Only one design style will be allowed within a neighborhood.
- No vertical additions or extensions will be allowed on top of any walls.
- All privacy and view walls should have a stucco, or stucco like material, with a medium sand finish, and must be finished on the public side. The color palette is taken from the local desert landforms and vegetation.
- All walls shall step, rather than slope, to accommodate grade changes.
- To minimize wall lengths and open views to street landscape and open space, walls shall be stepped back at Collector street corners and at corners adjacent to public open spaces.
- Where possible, view cul-d-sacs shall be provided to allow views into residential areas, provide views of parks, and open space residential areas, and to minimize the length of solid wall surfaces.

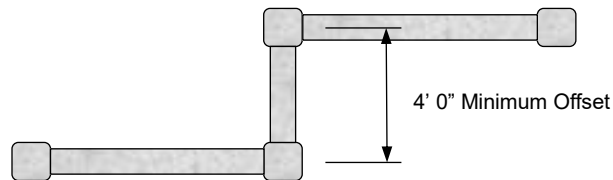


- Horizontal breaks, jogs, and variations in residential wall heights are encouraged to minimize the monotonous corridor effect of long continuous walls along residential streets and open spaces.
- Walls along both sides of walkways between residential lots shall match and be located and designed to make the walkway appear as open and spacious as possible. This can be accomplished by minimizing continuous wall lengths and through the use of view walls, low walls and rail fences along property lines which do not require privacy.

### **Horizontal Direction Change in View/Privacy Wall**

When a wall changes directions the resulting “leg” should be no less than 10 feet in length with a minimum 4’0” step in offset.

Horizontal Direction Change



### **Wall materials and designs appropriate for use at High Desert**

- Plaster or stucco finish or material integral in texture and color with the building.
- Designs should incorporate stepping or other techniques to achieve massing.

### **Wall materials and designs which may be used with approval of the NCC**

- Ornamental iron
- Pipe rail (horizontal) 2" or larger
- Tube rail or grid (square)
- Stone
- Precast concrete balusters and rails
- Split face block

### **Wall materials and designs which may not be used at High Desert**

- Thin wingwall designs

- Siding-wood or metal
- Exposed masonry
- Wood picket
- “Coyote” fence (typical to New Mexico)
- Other metal/wire fencing
- Chain link, with or without metal/fiberglass slats (except during construction or around sports areas)

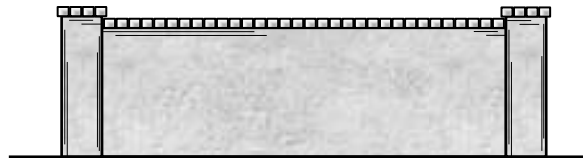
**Wall Design**

The walls shown below are designs that may occur throughout the community.

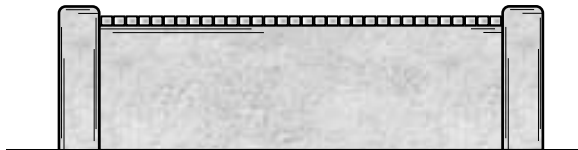
Typical Wall Designs



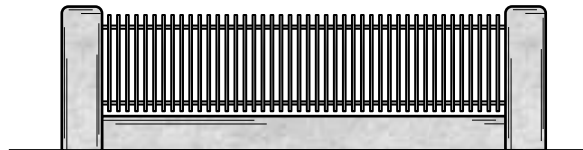
Overall Stucco Finish



Stucco Finish With Brick Cap

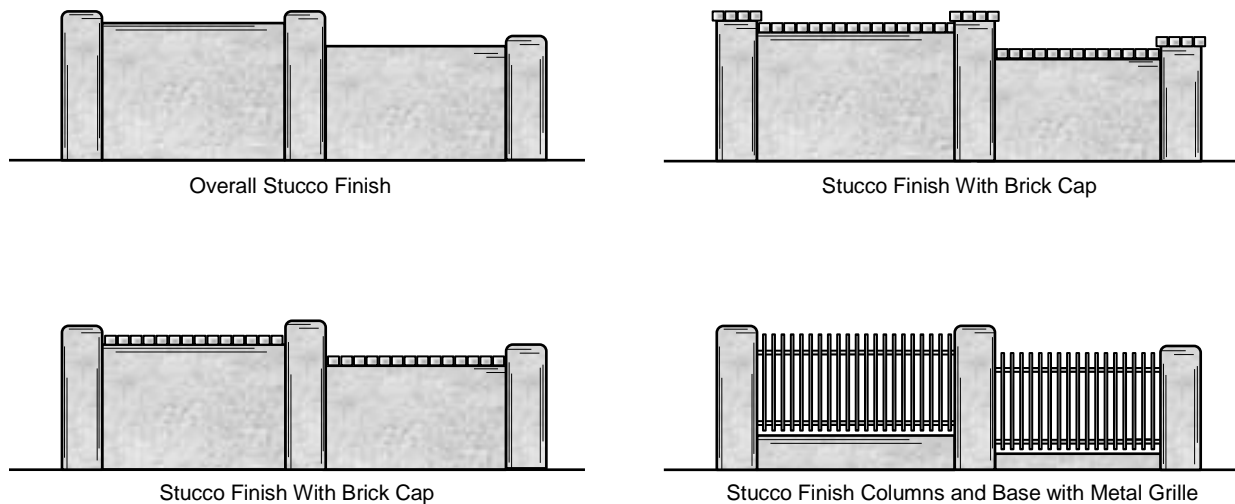


Stucco Finish With Brick Cap



Stucco Finish Columns and Base with Metal Grille

## Typical Wall Transitions



## Exterior Lighting Standards for High Desert

### Background

### Protecting Views of the Night Sky

- Views of evening sunsets, Albuquerque’s downtown, and the New Mexico night sky are among the most enjoyable features of living at High Desert. The intent of the *Guidelines* is to preserve the daytime and nighttime appearance of High Desert while allowing for the minimum lighting necessary to provide for safety, security, and the enjoyment of outdoor living, while not impairing views of dramatic nighttime panorama of city lights or the natural darkness of the desert sky.
- To accomplish this goal the *Guidelines* address common fixture types, location, quantity, and illumination characteristics of lamps. The NCC will consider the acceptability of each installation, light levels and visual impact on the lots surrounding areas on a case-by-case basis.

### Street Lights

- Streetlights are required by the City of Albuquerque to be placed at intersections and the end of streets. HDROA has no responsibility for or control over the placement of the streetlights. Care should be taken when designing views to take street light locations into consideration.
- The streetlights were designed especially for High Desert and comply with these Guidelines. They are lower in height than standard Albuquerque street lights; are a dark

bronze color to blend with the background; are shielded to hide the light source and to direct the light downward; and they have a sharp cutoff lens to minimize light pollution.

### **Seasonal Lights**

- Seasonal religious and holiday light displays are not covered by the *Guidelines*. However, the HDROA may adopt reasonable time, place, and manner restrictions for the purpose of minimizing disturbance to property and other residents.

### **Exterior Lighting**

- Even though light spilling from interior spaces contributes to the lighting of the exterior and should be accounted for in the overall lighting design, “exterior lighting” as used in the *Guidelines* shall mean light sources that are located exterior to the residence.
- Exterior lighting may serve one of three general purposes: a) safety, b) security, and c) illumination of outdoor living spaces.

### **Safety Lighting**

- Lighting that is used to illuminate vehicular and pedestrian areas. Driveway and/or path down-lighting may be used (and will be considered Safety Lighting) to provide illumination for access from the street to a garage or entranceway, provided the lights are at grade, mounted on posts, or otherwise mounted not over 18 inches above the ground, with covers or canopies so that light is cast downward) and are consistent with landscape path lighting. Such lights also must otherwise comply with requirements for down-lights in the *Guidelines*.

### **Security Lighting**

- Lighting that provides bright illumination during emergency situations. It must be circuited and controlled separately from any and all other lights. Security Lighting may be activated with sensors (motion, heat, etc.). The security lighting circuit may incorporate timer or photocell activation, but must have a manual on/off control.

**Note:** Security Lighting is intended for activation/use only in emergency situations. Security lighting should not be used continuously as a general deterrent during evening hours or while the homeowner isn't present.

- Security Lighting must be Fully Shielded (see definition below) and angled downward so that the light source is not visible from other properties or from adjacent streets. Security lights must be contained within appropriate exterior fixtures, having a cut off equal to or less than 45 degrees and be limited to a beam angle not to exceed 45 degrees from the vertical. Security Lights may not exceed 1,200 lumens at a color temperature between 2,700 and 3,000 Kelvin (see discussion below).

## Living Space Lighting

- Lighting built into or attached to buildings on walls, ceilings, eaves, fascia or other locations for the purpose of providing general illumination, area illumination, or decorative accent illumination.

## Lighting and Illumination Characteristics

- Light sources other than traditional incandescent (Edison-type) bulbs are acceptable if the illumination level and characteristics are equivalent. Alternatives include fluorescent, compact fluorescent (CFL), cold-cathode fluorescent lamps (CCFL), micro-fluorescent, and light-emitting diode (LED) sources, among others.
- Given the variations in wattage between alternative light sources, equivalency is best established by the total amount of visible light emitted by a source (luminous flux or power defined in lumens) and color of light expressed in degrees Kelvin. While significant variation exists, the most efficient and commonly available 40 and 75-watt incandescent bulbs emit approximately 600 and 1,200 lumens, respectively.
- The following table provides a general comparison between incandescent and compact fluorescent light sources based on information available at the time of issuance of this edition of the *Guidelines*.

General Comparison of Common Light Sources		
Incandescent (watt)	Compact Fluorescent (watt)	Nominal Light Output (lumen)
40	~10	600
75	~20	1,200

- A light source is also defined by the color temperature of its output, which can vary from the warm yellowish tones of incandescent bulbs to the cooler white and blue tones found in commercial and industrial settings. Color temperature is measured in Kelvin (K). Direct sunlight corresponds to about 5,300 Kelvin while daylight, which has the blue from the sky mixed in, is typically 6,000 Kelvin or above. Light sources made to match the color of traditional incandescent bulbs vary from 2,700 to 3,000 Kelvin and all light sources proposed for use in High Desert must fall within these bounds.
- In assessment of a proposed light, the NCC and MC will consider both the light emitted by the source (lumens) and color temperature of the source (Kelvin).

## General Lighting Design Requirements

- All exterior lighting should be shielded from view to minimize the potential glare toward other lots, streets or public. Particular care must be taken when lighting homes that are visible from land at lower elevations.
- An excessive number of fixtures, or excess light levels, or glare will not be allowed.

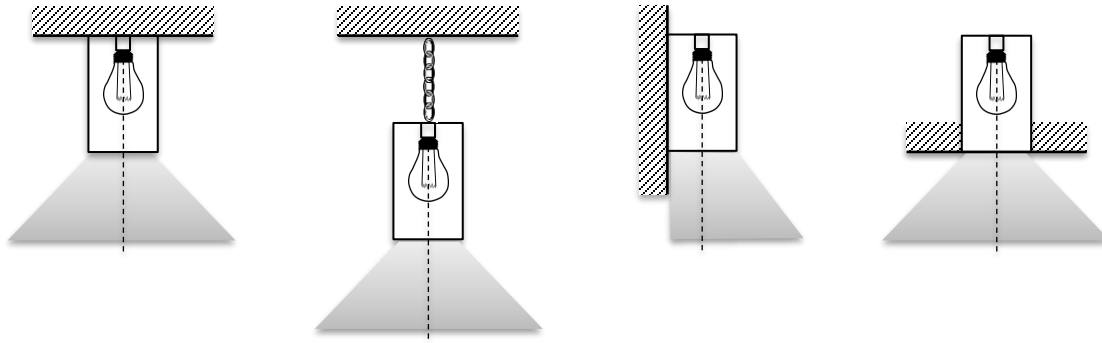
- Exposed or visible bare light bulbs are not permitted under any circumstances.
- Pendant-type fixtures must be mounted in a manner that will not allow the fixture to sway.
- Accent lighting must be directed onto vegetation or prominent site features, such as boulders, and not upon the building.
- No lighting will be permitted in Natural Areas, except as described herein.
- Living Space Lighting must be confined to areas enclosed by walls, unless properly screened by landscaping and/or landforms (i.e. berms, rock outcrops), or be in the immediate vicinity of the main entrance to the residence, with the exception of walkways from the street to the front door. This lighting shall be no more than the minimum necessary for safe passage.
- Lighting of plant materials shall be achieved with hidden light sources. These include surface mounted fixtures; lamps recessed in building soffits, eaves, overhangs and walls; and lamps hidden by plant materials.
- Up-lighting, for example, of residence, vegetation including trees, or landscape features, is not allowed.
- Exterior fixtures shall be located and oriented to focus light downward to minimize light encroachment onto neighboring residences.
- Building mounted lighting must be directed downward away from adjacent lots, streets and open spaces and may not be used to light walls or building elements for decorative purposes.
- Exterior fixtures mounted on buildings shall be no higher than the line of the first story eave or, where no eave exists, no higher than 12 feet above finished grade, and shall be Fully Shielded, Partially Shielded or Filtered (see definitions below). This requirement also applies to lighting of decks, porch, and portico areas.

## Definitions

**Note:** The illumination values presented below refer to the *total illumination* emitted by the fixture whether it contains a single source or multiple sources.

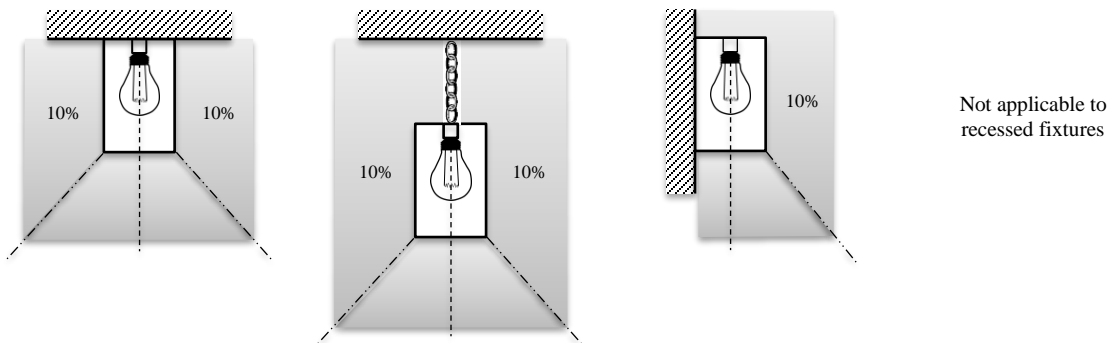
### Fully Shielded Fixtures

- Fixtures constructed with a cut off equal to a field angle no greater than 90 degrees and a beam angle not to exceed 45 degrees from the vertical axis. Total illumination from Fully Shielded fixtures may not exceed 1,200 lumens at a color temperature between 2,700 and 3,000 Kelvin.



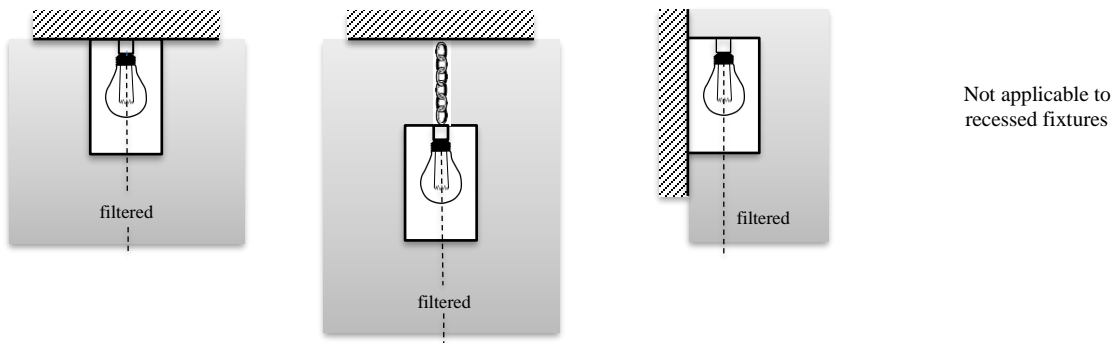
### Partially Shielded Fixtures

- Fixtures constructed so that no more than 10% of light rays are emitted directly from the light source at angles at or above a beam angle of 45 degrees from the vertical axis as certified by photometric data. Total illumination from Partially Shielded fixtures may not exceed 1,200 lumens at a color temperature between 2,700 and 3,000 Kelvin.



### Filtered Fixtures

- Fixtures constructed so that emitted light is filtered through a frosted or semi-opaque lens or filter, and/or is covered with a material or design, which allows only limited light to be emitted. Total illumination from Filtered fixtures may not exceed 600 lumens at a color temperature between 2,700 and 3,000 Kelvin.



## Prohibited Lighting

The following lighting types are prohibited in High Desert

- Metal halide, mercury vapor, or similar high intensity discharge (HID) lamps
- Quartz lamps
- Luminous tube lights filled with neon or similar rarified gases with the exception of standard fluorescent tubes
- Laser or similar highly collimated light sources
- Searchlights, gyalights, or other fixtures with moving light sources or projected beams

## Approval Process

- As part of the plan review process for new construction and modification, an electrical plan must be submitted which depicts the location and type of all exterior light fixtures.
- All exterior light fixtures must be specified as Security Lighting, Safety Lighting or Living Space Lighting.
- Circuits and controls for all exterior lighting must be shown including any sensors, timers, or actuators for security or safety lighting.
- Manufacturer data sheets must be provided for all exterior lighting fixtures.
- The NCC reserves the right to reject a lighting plan if the illumination appears excessive, inappropriate, or not in conformance with the *Guidelines* and the lighting philosophy of High Desert.

## Signage

**Design Objectives:** To make signs at High Desert as unobtrusive and integral to the environment as possible.

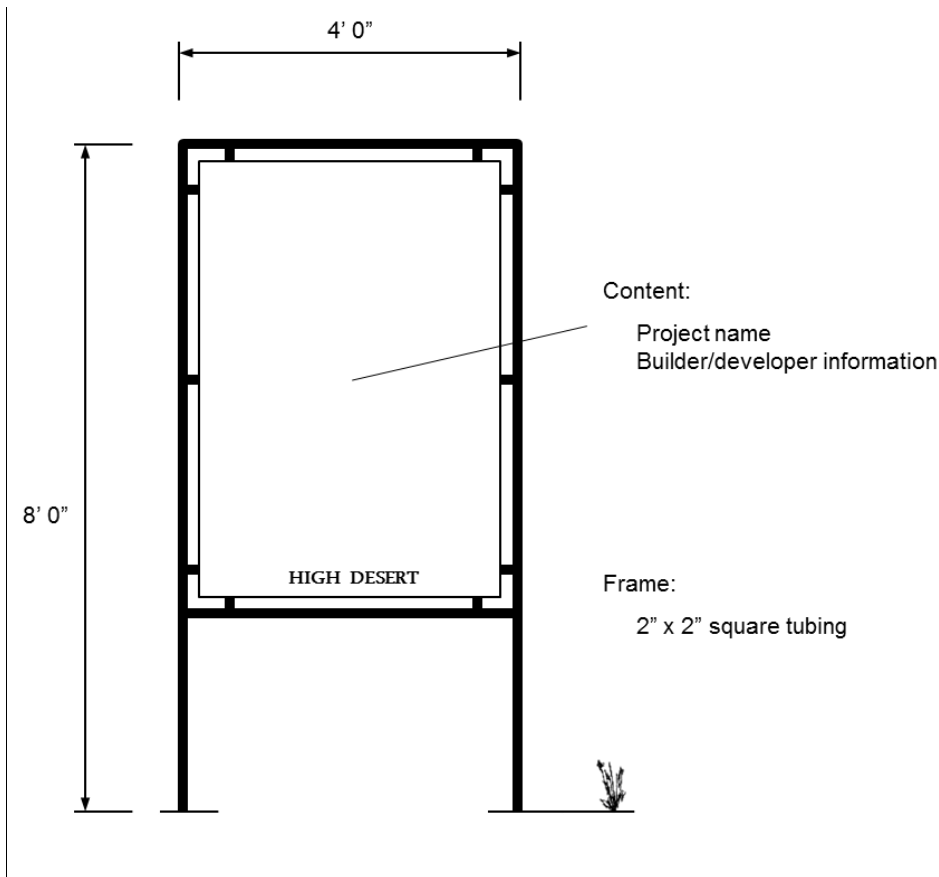
- All signs in builder home communities shall be in compliance with City sign codes and with the following requirements:
  - Signs can be a maximum of 3'0" wide and 5'0" high.
  - Signs must be maintained in good condition and acceptable quality as determined by the NCC or MC.



- There can be only one approved sign of any kind on a lot at one time unless approved by the NCC. Signs can only be located on the property, planted in the ground, and on the side of the house facing the street where the driveway meets the street.
- Contractors or others (financing, sub-contractors, etc.) are subject to these Guidelines.
- All village entry signs, and other related signs, must be reviewed and approved by the NCC.

**Village Construction Signage**

- Only one construction sign will be allowed per building
- Construction signs will convey the developers/general contractors identification and/or architects name, logo, and telephone number
- Construction signs will be installed parallel to the street
- Construction signs shall be removed by the contractor at the completion of construction.
- The standard temporary tract or parcel sign may be installed. The quantity location and copy must be approved by the NCC.



## **Address Identification**

- Address identification must be installed by owner. Address numbers must be integrated into building walls, freestanding walls, or mailboxes. Numerals may not exceed 6 inches in height and must be of materials and colors that harmonize with the building design. Address identification must be positioned so it is easily visible from the street.

## **Mailboxes**

- If a builder village does not have community mailboxes, mailbox design and materials must match or complement the residence and approval by either the NCC is required prior to construction or modification. Refer to Guidelines for Estate and Premier Homes for Mailboxes other than community mailboxes.

## **Other Site Design Features**

### **Basketball Goals and Backboards**

- Basketball goals may be installed on any Residence, but the installation must be approved by the NCC. Particular attention should be given to the privacy of adjacent lots, as well as color and obtrusiveness of its location.
- The NCC may require that certain types of basketball goals be used and that they be screened by landscaping or other appropriate material.

### **Antennas and Flagpoles**

- Special care should be taken to locate antennae or satellite dishes of any sort, in areas on the roof that minimize the visibility from neighboring lots, common areas, streets, or public areas.
- Permanent and temporary flagpoles must be approved by the NCC. Flagpoles may not be higher than the highest point on the house adjacent to the flagpole location (excluding chimneys) and must be located within close proximity to the structure.
- Decorative flags, balloons, beacons or banners are not permitted on any lot except as approved by the NCC, MC, or Board of Directors for special events.

### **Service Yard**

- All garbage and trash containers, clotheslines, mechanical equipment, and other outdoor maintenance and service facilities must be screened by walls from other lots, common areas, streets, or public spaces.

### **Storage Tanks**

- All water tanks or similar storage facilities, including sanitary sewer facilities and lift stations, shall either be shielded from view by walls or structures or shall be located underground with all visible projections screened from view.

### **Radon Gas Protection**

- Radon gas has been detected in the foothills and North East Heights. Each lot should be tested by a professional for the presence of radon gas. If a determination is made that a radon gas ventilation system is needed, the design professional should be made aware of this and include it in the design of the residence.

### **Utility Meters/Mechanical and Electrical Equipment**

- All utility meters and exterior equipment must be painted to match the building color and/or be screened with a wall or landscaping material unless doing so would be in violation of building, fire, or safety codes or the manufacturer's requirements.

- All roof or ground mounted exterior mechanical equipment, except for chimneys and structural elements of the building, must be fully screened from view or painted the same color as the house, if approved by the NCC. To determine if screening is required for roof mounted equipment, view the equipment (1) from any point along the property line at a height of 63.5" and (2) from the street centerlines of streets directly adjacent to the property lines at a height of 42". Parapets may be used to screen roof mounted equipment.
- The location of all exterior mechanical equipment and screening must be approved by the NCC prior to installation.
- Every effort should be made to show on all plans the location and screening, when submitted to the NCC. Submittal of perspective views from the property corner-points, and other points as appropriate, at the heights noted above are required to verify adequate screening.
- Any changes in location or screening of mechanical equipment after the original approval by the NCC must be approved by the NCC.
- Satellite dishes should be installed in the best possible location to maximize shielding the dish from view as viewed (1) from any point along the property line at a height of 63.5" and (2) from the street centerlines of streets directly adjacent to the property lines at a height of 42".
- No mechanical equipment or skylights may be located on pitched roofs.

### **Solar Specific Guidelines**

- Every attempt should be made to minimize the visual impact of solar equipment.
- For pitched roofs, the equipment should be mounted in the same plane as the roof and as close as possible to the roof.
- For flat roofs, the bottom of the equipment will be mounted as close as possible to the roof (a distance of 6 inches or less from the bottom of the equipment to the roof is desired) and at the minimum angle possible for reasonable energy production and access to the sun.
- No solar energy devices shall encroach upon the Common Area of the property or the property of another owner or be located outside of the building envelope of the owner's lot.
- The design and color of framing or trim on any solar energy device shall be of a non-reflective surface to minimize the visual impact.
- All paintable surfaces such as pipes, tubes, cables, conduits and wires, shall be screened or painted to match the colors of the underlying surfaces at the time of installation, unless

doing so would be in violation of building, fire, or safety codes or the manufacturer's requirements.

- Additional shielding or painting may be required to minimize reflections from any solar energy device.
- The total installed height of the solar equipment shall conform to the building height restrictions in the applicable Guidelines.

**Note:** Additional discussion and applicable requirements can be found in the Utility Meters/Mechanical and Electrical Equipment section.

### **Solar Plan Submissions**

- Plans shall be submitted that are to scale, although dimension labeling is not required. Required views are a plan view, and views from corners and mid-points, including expected worst case views for (1) along the property line at a height of 63.5" and (2) from adjacent street centerlines from the extension of any property line in a perpendicular direction to the adjacent street at a height of 42".
- The plans shall depict:
  - Pitch angles relative to the flat roof or ground.
  - Distance from the lowest natural grade to the top of the solar equipment shall be specified.
  - Any shielding proposed to meet the shielding requirements shall be shown on the proposed plans.
  - A visual rendering of any associated equipment (controls, conduits, piping, etc.) installed on the sides of the home shall be provided.
- Specification sheets and dimensions for the solar equipment mounted exterior to the home shall be submitted along with the installation company.
- If the above conditions cannot be met for the proposed mechanical/electrical equipment or solar installation, the homeowner should be prepared to discuss the following with the NCC before approval can be granted. In addition, if it becomes apparent a variance to the Guidelines is necessary; the proposal will be forwarded from the MC to the NCC for resolution.
  - Possible reduction in physical size
  - Performance reduction due to lower mounting angles or location change
  - Additional shielding

- Different equipment that could meet the same energy generation request
- Why the locations required by the Guidelines for installation are unsuitable for providing solar energy

## **LANDSCAPE CONCEPT FOR HIGH DESERT**

### **Landscape and Water Conservation**

The goals of the landscape design for High Desert are ensuring an aesthetically pleasing landscape which maintains the existing character of the site while minimizing water use for irrigation; increasing the habitat available to wildlife; and producing less allergens than an unplanned landscape with similar quantity of plant material. The New Construction Committee (NCC) reviews and approves landscape plans for all new home construction and the Modifications Committee (MC) reviews and approves all modification plans to an existing landscape.

To achieve these goals, vegetation used at High Desert must be predominantly native plant materials. To maintain the existing character of the site, native plants will be drawn from plant communities that are found on the property or in the Sandia Mountains adjacent to the property. Plant communities are groups of plants that thrive within similar sun, soils and water conditions. Dominant plant communities will be expanded with particular emphasis on those containing large shrubs and trees. Some plant materials found on the site, while native to New Mexico and the Albuquerque vicinity but not indigenous to High Desert, will be considered inappropriate for certain areas within the community. Some plant materials not native to New Mexico and the Albuquerque vicinity or to the American Southwest will be permitted to allow residents more variety in their landscape selections.

High Desert Residential Association requires the preservation of the natural character of the High Desert environment and encourages a native landscape, which is prone to wildfire from natural and manmade causes. Wildland fires are fueled by a build-up of dead and dry vegetation and driven by seasonal hot and dry winds.

Protecting homes and life is also an important consideration in landscape design. The landscape concept contains some allowable, common-sense design safeguards that home owners may use to reduce vulnerability to fire.

This planting concept at High Desert will blend new construction gracefully into the existing landscape.

### **Landscape Design Goals for High Desert**

- An aesthetically pleasing landscape design that maintains the character of the existing site while also allowing for some wildfire defensive measures.
- Minimize water use for irrigation.

- Produce less pollen than an unplanned landscape with similar quantity of plant material.
- Developers are required to provide a landscape concept and planning design for the projects as part of the Design Review process.
- Developments should be designed to create outdoor spaces that include central recreation and landscape amenities. Tract developers must landscape the front yard of each house in accordance with the approved streetscape plan.
- Streetscape plans may include an area, not to exceed 20% of the landscaped, of nonnative turf. However, traditional Blue Grass and other similar turf are strongly discouraged. There is no limit on the use of Buffalo Grass, Blue Grama Grass and other native grasses in front yards.
- In accordance with the City of Albuquerque Landscaping and Water Ordinance, adopted in March of 1995, the following policies apply:
  - All privately owned properties other than golf courses shall use medium and low water use plants on a minimum of 80% of the landscaped area.
  - All privately owned properties other than golf courses shall not use high water use turf in more than 20% of the landscaped area.
- All planting in public areas (front and side of homes) must be from the High Desert Approved and Prohibited Plants List or the appropriate Supplemental Guidelines.
- Non-native plant materials will be limited in use and must be approved by the NCC.
- Views of non-native materials from adjacent properties must be minimized.
- The setback from the perimeter road which makes up the front yard of a building shall be planted from the list of approved native plant materials or the appropriate Supplemental Guidelines. This landscape should be uniform along the entire frontage of a street and neighborhood. Gravel, rock, crushed or decomposed granite or other such material as well as wood chip or other similar mulches or groundcovers should be limited in use and must be approved by the NCC. These ground cover materials should not be the focus or principal elements of the landscape plan but, if used, should be an accent.
- Gravel, rock, crushed or decomposed granite may be used for walks and/or driveways.
- All aspects of Common Area landscaping which are to be maintained by the High Desert Residential Owners Association, such as neighborhood entries, streets medians, and neighborhood parks, are the responsibility of the Landscape Committee. The committee shall coordinate the development and maintenance of the Landscape Master Plan to address Common Area landscaping and make recommendations to the Board of Directors. Landscape funding and expenditure requests shall be approved by the Board. If no duly constituted and functioning Landscape Committee exists, then the

Board of Directors may designate the NCC to coordinate Common Area landscape planning and funding responsibilities with Board approval.

- Repair and maintenance of Common Areas and arroyos in Common Areas is the responsibility of the Association and its property management company.
- As long as the vegetation and land surface are not permanently damaged, it is permissible to thin ladder fuel in Common Areas to reduce fire vulnerability. Fuel that can carry a fire burning in low-growing vegetation to taller vegetation is called ladder fuel. Damage resulting from fire must be remediated.
- Outside of Community Walls a fire break of 3 to 5 feet may be created by the Association and its property management company when practical by removing plants and trimming native grass to 8 inches. Only low growing plants should be allowed in the fire break area. Tree branches should be trimmed to a height of at least 16 inches from the ground and branches should not be allowed within 5 feet of a wall. Trees that are highly combustible should be cut back or removed, where appropriate.
- To reduce fire vulnerability in the Common Areas, the Association and its property management company may trim native grass to a height of 8 inches around trees, large cactus, and shrubs. Trimming should be in a circular pattern with a diameter of twice the diameter of the plant. Cut the branches of trees to a height of 16 inches from the ground to remove ladder fuels, creating a separation between low-level vegetation and tree branches to keep fire from climbing into a tree canopy.
- If native trees are planted in the Common Areas, the minimum distance between the tops of a mature canopy of trees must be 10 feet.

## **Water Conservation**

Water is the most precious natural resource in New Mexico and the American Southwest. The economic and environmental health of the state and region is dependent upon the responsible use of our water resources. It is the goal of High Desert to provide a model of community development that utilizes the most progressive techniques in water conservation practices. Careful planning and thoughtful design can demonstrate that water conservation is possible without sacrificing lifestyle choices.

## **Plant Communities and Arroyos of High Desert**

The landscape concept for High Desert involves extending the juniper/piñon/oak plant communities found in the Sandia Mountains into the residential development and common areas on the lower portions of the property. Because these trees are highly flammable, do not plant them close to the house.



- The major arroyos on the site, as determined by easements, are preserved and will be maintained in their natural state by the Association. Arroyo maintenance is defined by the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA).
- Layout of the individual residential lots has been designed to protect natural drainage systems. These drainage systems have easements granted to AMAFCA and the Association, and should remain in a natural state, with no vegetation or land form damage without an AMAFCA encroachment license and approval of the NCC.

## **Non-Native Species**

Non-native plant materials must be limited in use to the Private Areas of a lot. Views from the street and adjacent properties of non-native materials must be minimized.

- Non-native plant materials may not extend, at mature height, beyond the roofline.
- Gravel, rock, crushed or decomposed granite, or other similar materials may be allowed outside of Private Areas, for driveways and erosion and drainage control, only with the approval of the NCC. Wood chips, bark or similar mulches or groundcovers and non-native plant materials are not allowed outside of Private areas.
- Gravel, rock, crushed or decomposed granite, or other similar materials may not, under any circumstances, be used for purely decorative features.
- Prohibited plants from the Approved and Prohibited Plants List may not be planted anywhere on a lot.

## **Landscaping Guidelines**

Care should be taken to protect all native existing plants at High Desert and to maintain the natural character of the landscape outside Private Areas.

- All improvements should be sited to avoid existing trees, if at all possible. It is recommended that reasonable efforts be made to transplant all significant and transplantable materials.
- All areas disturbed (due to construction, fire, or other causes) outside the Private Areas must be re-vegetated using the High Desert Reclamation Seed Mix and appropriate soil preparation. The High Desert Reclamation Seed Mix is defined within the separate document -- Approved and Prohibited Plants List. The re-vegetation must occur during the first growing season after or during completion of the home. The use of berms as landscape features is encouraged if continuous expanses of landform can be created to look natural as opposed to contrived or manmade. Small irregular hummock type landforms are not allowed. Architectural or structured berms (i.e., retaining walls, earth buildings, sculptural landform, etc.) may be allowed if they are an integral part of the architecture and landscape, with NCC approval.

- Spray irrigated Private Areas shall be no more than 20% of the lot, exclusive of the house, in accordance with City of Albuquerque ordinance. This is exclusive of spray irrigation for native vegetation, which may be irrigated for germination. Spray irrigation outside the Private Areas may not be used to create a "green turf-like" appearance.
- Residential lots shall be maintained in a neat and attractive condition to meet the community wide standard and reduce vulnerability to fire. Minimum requirements include replacing dead or dying plants, controlling weeds, and general clean-up of potential fuel. Removal of volunteer plants within 3 feet of the road and walls is permitted.
- To reduce the extreme fire danger posed by a layer of dry conifer needles, owners must remove fallen needles, as well as pine cones, from under and around these trees yearly, preferably from November through February prior to peak fire season in the southwest.
- While some low-growing native vegetation is preferred, hard surfaces, such as concrete or noncombustible rock mulch may be used around to house to a distance of 3 to 5 feet.
- Consideration should be given to using non-woody, low-growing herbaceous vegetation or fire-resistant vegetation in the landscape plan. Succulent plants and ground covers are good choices.
- Create vegetation groups, "islands", to break up continuous fuels around the home.
- Clean roofs and gutters of dead leaves, debris, and pine needles that could catch embers in the event of a wildfire.
- Trees should not be planted close to the house. Generally, no closer than 10 feet. Consider the diameter of mature trees when planting trees near the house and maintain a minimum distance of 10 feet between the tops of a canopy of trees. Trim back over-hanging or touching branches from the roof to a distance of at least 10 feet.
- Native grass may be trimmed to a height of 4 inches.
- Non-native turf (including blue grass, rye and other mixes) and high water use plants is limited to an area no greater than 20% of the landscaped area of the lot, exclusive of the house (City Ordinance) and must be located only in Private Areas.
- The use of buffalo grass or other approved native turf is encouraged when appropriate.
- All plants that are highly visible from a street or public area or from an adjacent lot, must be from the Approved and Prohibited Plants List or the appropriate Supplemental Guidelines.
- Views from the street and adjacent properties of non-native materials must be minimized.
- Non-native trees may not, at mature height, grow above the roofline of the residence. If planting non-native trees, select species from the Approved and Prohibited Plants List or

the appropriate Supplemental Guidelines that at maturity will not grow higher than the residence.

- All projects shall be maintained in a neat and attractive condition. Minimum requirements include replacing dead or dying plant materials, watering and general clean-up.
- Native plant materials required for the periphery of the site. Oasis or non-native planting must be contained behind the walls of the property, except for streetscape landscaping which may include an area, not to exceed 20% of the landscaped area of nonnative turf.
  - Landscaping in front yards and all common areas shall be completed with all irrigation and trees, shrubs, and grass planted within two months of completion of building construction.
  - Store fire wood as far away from the house as possible within the privacy area.

## **Approved and Prohibited Plants List**

### **Philosophy**

Landscaping in High Desert is designed to retain the natural look of the foothills, to be drought tolerant, and to help maintain the native wildlife of the area. This is accomplished through the use of native plants as a backbone with the use of desert adapted plants as fill. The landscaping objective is to maintain the regional look of a southwestern high desert. Native wildlife is to be encouraged through the use of the native plants and grass to which they are accustomed.

Desert adapted plants can be recognized by their water conserving features: small narrow leaves or needles, gray/green color, waxy protective leaf coatings, fuzzy hair leaf coatings, lack of leaves just green narrow stems, or spines for leaves. The use of acid soil loving plants with large leaves is discouraged since these plants neither represent the southwestern desert aesthetic nor are they desert adapted.

The actual Approved and Prohibited Plants list is a separate document. The list can be obtained from the High Desert Resident Owners Association web site.

[http://www.highdesertliving.net/highdesertliving/page.html?page\\_id=34](http://www.highdesertliving.net/highdesertliving/page.html?page_id=34)

## **Program for Water Conservation**

### **Water Conservation Goals**

Water is the most precious natural resource in New Mexico and the American Southwest. The economic and environmental health of the state and region is dependent upon the responsible use of our water resources. It is the goal of High Desert to provide a model of community development that utilizes the most progressive techniques in water conservation practices. Careful planning and

thoughtful design can demonstrate that water conservation is possible without sacrificing lifestyle choices.

## **Landscape Irrigation**

- Irrigation system design with head to head coverage will be required in all non-native lawn areas
- With the exception of sprinkler heads and control equipment (anti-siphon valves, control valves, etc.) all irrigation piping must be placed below grade.
- Spray irrigation systems for native grass areas outside Private Areas may only be used for germination and very limited periodic use during drought periods.
- Over watering and use of spray irrigation outside Private Areas on native grasses may not be used to create a "green turf like" appearance.
- Where irrigation of trees, plants and shrubs is necessary, drip irrigation systems are required.
- Temporary irrigation systems for non-turf areas are encouraged.
- High water use turf and plants is limited, by City Ordinance, to 20% of the lot, exclusive of permanent structures and areas such as concrete paths and driveways.
- The use of buffalo grass or other approved native grass turf is encouraged in all turf situations.

## **Pools and Water Features**

- Decorative pools shall be limited to three hundred (300) square feet in surface area. Sheet and cascade water features are preferred, and vertical jets with a vertical height greater than six feet are discouraged.
- Swimming pools are limited in size to nine hundred (900) square feet of surface area.
- Water fountains, or water features, to be located outside the Private Space cannot exceed six feet in height from the finished grade unless approved by the NCC.

## **Water Harvesting**

Water harvesting at High Desert refers to a number of techniques and collection systems, mostly passive, which collect and convey a portion of the storm waters generated from the developed portions of the lot to natural or landscaped areas within the lot. The use of water harvesting techniques provides a method of delivering moisture, which might otherwise be lost, to enhance the growth of the native vegetation and landscaping; while at the same time conserving the precious water that comes from our aquifer. Water harvesting techniques can be incorporated into

the storm water, or drainage management plan for the lot. Any owner wishing to irrigate areas greater than those allowed by the Guidelines or to construct a swimming pool larger than permitted by the Guidelines, must demonstrate that water harvesting techniques have been incorporated into the design of the home and that such techniques are being successfully utilized.

- The use of hidden roof top storage, cisterns, and other techniques for capturing and utilizing rainfall and natural drainage is strongly encouraged and may become a useful and attractive part of the drainage plan for the lot.
- If water harvesting facilities are planned to be located in a AMAFCA easement, an Encroachment License must be obtained from AMAFCA (at owners expense), along with approval from the NCC.
- Above ground swales and ponds, if designed properly can act as attractive water harvesting features.
- Water harvesting facilities may be located in the Natural Area, with the approval of the NCC.
- Water harvesting facilities must be shown on the Grading and Drainage Plan and must be approved by the NCC.

# ARCHITECTURE

The objective for the architecture at High Desert is to establish the highest standard of quality for the design of buildings. The architectural character of High Desert should reflect the casual elegance of southwestern living. Southwestern character is derived from a wide variety of historic, geographic, cultural, climatic and thematic influences including Native American, Mexican, and the American West. Architectural character results from a composite of form, materials, colors, and detailing.

At High Desert, no residence should stand so apart in its design or construction as to detract from the visual harmony of the community. Builders are required to design homes, whether traditional or contemporary, to capture the qualities of Southwestern architecture.

## Architectural Style

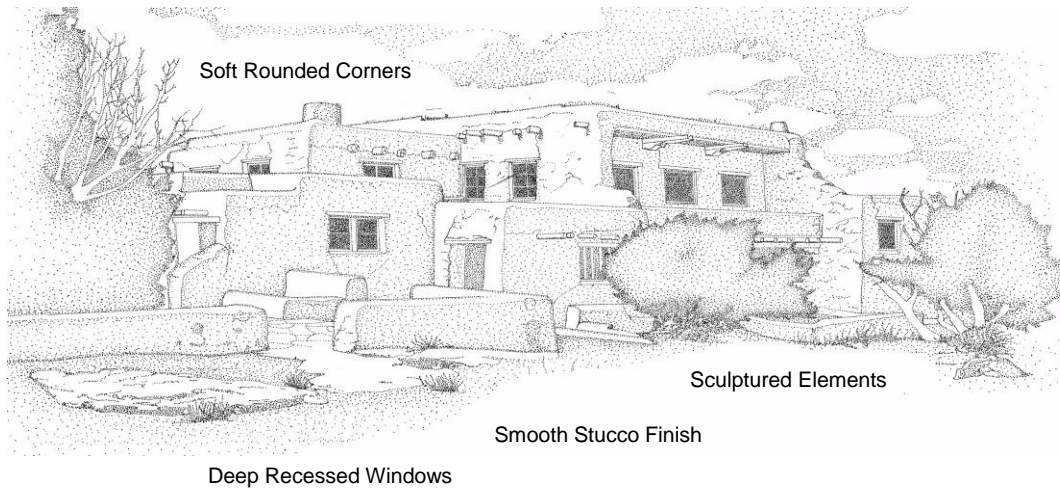
The following is a description of the most culturally relevant architectural styles with guidelines for applying them at High Desert.

- Architectural style of all homes to be constructed by a builder in a neighborhood, or village, must be approved by the NCC.
- Elevations, with dimensions, for each side of each model planned to be built must be approved prior to the start of construction.
- All homes within a neighborhood, or village, must be of similar styles.

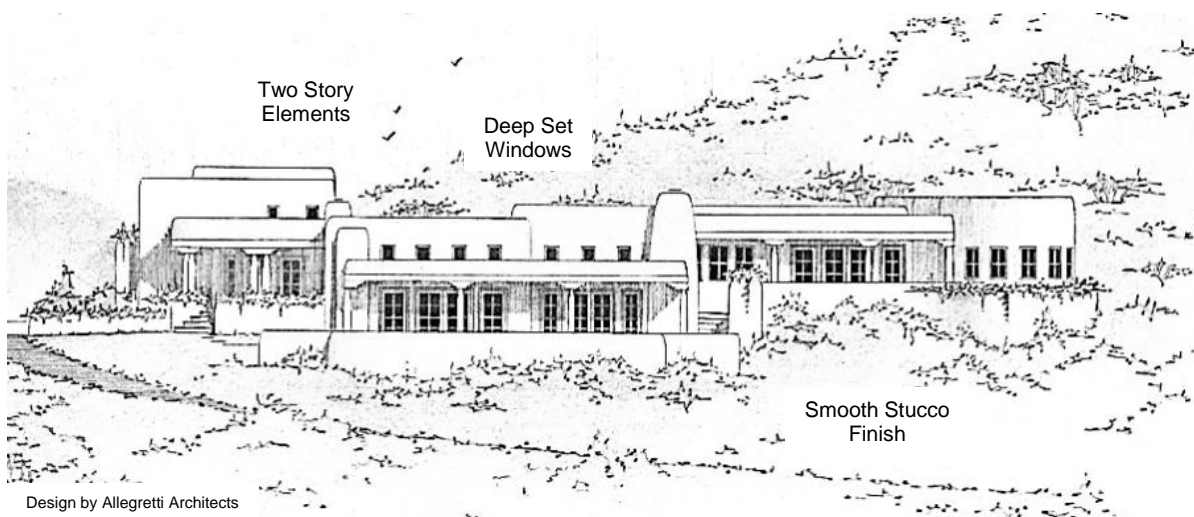
## Pueblo Revival Style

Pueblo Revival architecture includes elements of Pueblo, Spanish Colonial and Mission Revival architecture styles. Sometimes referred to as “New Santa Fe Style”, Pueblo Revival architecture has become synonymous with the work of John Gaw Meem who **melded these styles and brought them into the 20<sup>th</sup> Century**. Characteristics of the style include earth-toned stucco walls with an adobe-like appearance, human-scale step-block irregular massing, rounded corners at intersections, deep recessed portals, flat roofs drained by cut or through parapet canals, rows of vigas, recessed casement windows with bull-nosed edges, roughly hewn lintels, and stepped-back rooflines that imitate Pueblo architecture. Contemporary expression of the style may include high interior ceilings and dramatic expanses of glass to capture available scenic views. The design vocabulary is the same but the materials have changed. Pueblo Revival architecture is not an imitation of the past but a reflection, or “conscious recollection” in Meem’s words, of the past utilizing evocative forms and elements.

## Pueblo Revival Style



## Contemporary Pueblo Revival Style

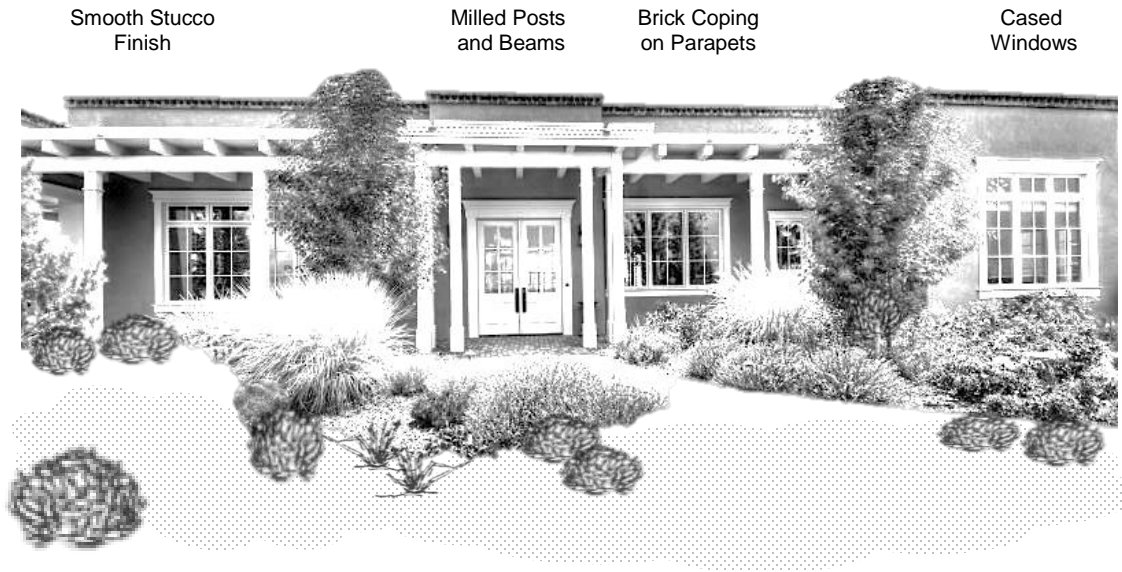


## Territorial Style

Territorial architecture can generally be described as a mix between Pueblo and Victorian building styles. As the name suggests, it was developed in New Mexico's territorial pre-statehood days, when this vast region was populated by European and American settlers who brought with them Victorian building traditions, but often found pueblo building techniques to be more practical. Territorial homes typically feature flat walled and roof construction, but with adaptations like large wood-cased windows, in contrast to portals, which were traditionally used to block as much heat as possible. Sidelights, a stack of small vertical windows, commonly flank entry doors, and bricks

trim doors and windows. Brick coping is used atop the exterior walls to protect them from water damage. Pedimented lintels, or lintels with a triangular crown, recall the Greek Revival style, as do milled posts and beams that replace the logs used as vigas and posts in Pueblo and Pueblo Revival designs. Smooth stucco is often used in place of thick plaster on exterior walls.

### Territorial Style

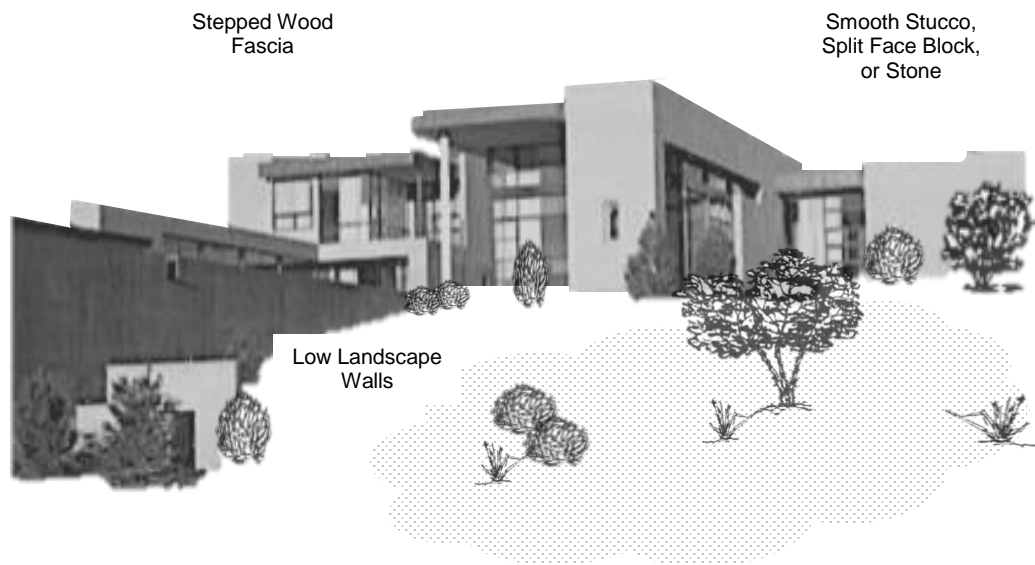


### Regional Modern Style

Although contemporary architecture is a somewhat ambiguous label, at High Desert it refers to buildings created today, whose interpretive art form may or may not be historically or stylistically based. Regional Modern covers a broad range of styles reflecting regional influences and designs that embrace the modernist's exploration of technology resulting in buildings of lighter weight and often unusual or non-classical geometries. To make them more compatible with the High Desert environment, contemporary style should incorporate setbacks and overhangs, interesting use of windows and window setbacks, be carefully integrated with their sites and incorporate strong horizontal lines. With care, contemporary designs can be climatically derived, humanistically sensitive, and indigenously structured while exploring non-classical and non-stylistic forms, geometries and spaces, and result in highly compatible, environmentally appropriate architecture that breaks down the barriers between inside and out.



## Regional Modern Style



### Building Heights

The topography and natural features of High Desert are dramatically varied with ridges, arroyos and other elevation changes contributing immeasurably to the quality of the environment. Low profile buildings will minimize intrusion and impact and preserve views and the visual beauty of High Desert. Therefore, buildings should be as low as possible in order to integrate with their surroundings. One of the principal ways of achieving a low profile is to site the structure partially below natural grade. This is especially effective when done at the high point of the natural topography.

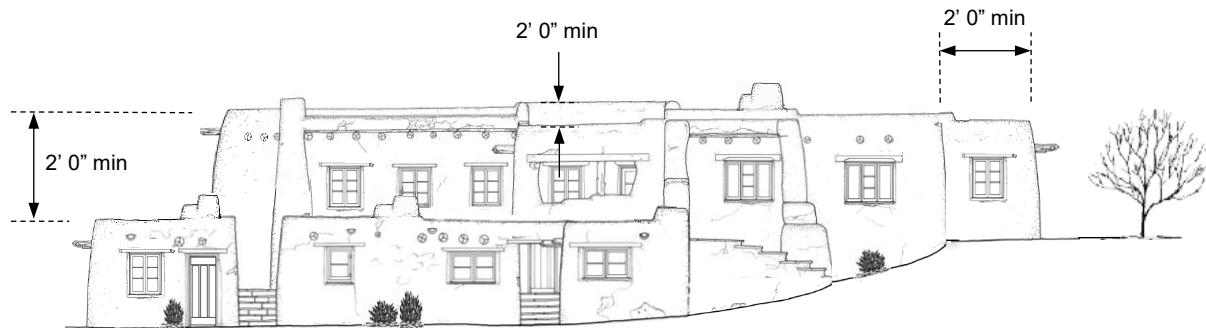
Because the views, topography and other issues that affect the quality of life within the community vary from area to area, High Desert has different maximum building height requirements to respond to the needs of those specific geographic areas. Supplemental Guidelines or Supplemental Declarations may further restrict heights.

- The maximum overall building height shall not exceed 26' 0" measured from the grade of the pad approved by the City to the highest point on the building (except chimneys). Pitched roofs are measured to the ridge. The elevation of the highest point on a proposed structure, excluding chimneys, must be indicated and identified as the highest point on all construction plans.
- On building plan elevations all parapet heights must be noted.
- Builders should not align all two story homes along the boundary of a tract which is adjacent to a Community Wall.

## Building Massing

Definition: Building Mass: A volume of space which visually appears as a rectilinear form, consisting of a roof and at least 3 walls. Building masses should follow natural site contours, as much as possible.

- Residences with a single floor level are acceptable provided the building height and massing and grading guidelines are met.
- Building masses should be predominantly horizontal rather than vertical, yet should not create long unbroken elements.
- Each building mass must be offset from adjacent masses by at least 2'-0" vertically and 2'-0" horizontally. Mass dimension must be labeled on all plans.
- Each building must have at least 3 distinct masses visible from the front.



Adjacent building masses must be offset vertically and horizontally from each other by at least 2' 0".

## Materials

Exterior surfaces must be materials that harmonize with the natural landscape as well as provide an outer skin to withstand the climate extremes. Stabilized adobe block and stucco are two such materials which meet the aesthetic criteria and are regularly used for construction in the Southwest. The use of these materials at High Desert is strongly encouraged.

Materials are crucial to creating architectural continuity throughout High Desert. Exterior elements and materials should be limited in number and be compatible with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.

- On any single building, the materials for exterior application shall be limited in number, compatible with one another and in scale with the building.

- Siding materials shall extend down to finished grade to eliminate areas of exposed foundation.
- Materials should not detract from the building's overall appearance or become visually complicated.
- The detailing of any elevations exposed to public view should be consistent with the front elevation.
- These materials are appropriate for use as residential exteriors at High Desert
  - Exterior plaster or stucco using a light to medium texture
  - Wood fascia-stained or painted as accents
  - Stone
- These materials may be used with approval of the NCC
  - Ornamental iron
  - Concrete, including painted or dyed
  - Ceramic tile
  - Concrete columns
  - Glass block
  - Very dark or opaque glass
  - Man-made stone
  - Brick (earth tones occurring at High Desert)
  - Split faced block (earth and landscape tones occurring at High Desert)
  - Other materials may be considered for approval by the NCC
- These materials are inappropriate and may not be used at High Desert
  - Exterior plaster using heavy textures such as swirl or heavy trowel patterns
  - Metal cladding
  - Exposed standard concrete block

## Colors

The Pre-Approved building colors were selected to create a range of colors acceptable in the High Desert community. Due to the number and variety of colors to choose from, the color list is only a sampling of the colors permitted. It is very important to provide information (manufacturer, color name and product number) to the NCC for approval.

Southwest colors are warm, rich, desert hues with accents of complementary tones, reflecting the landscape of the Southwest desert.

- Colors for roof surface should be as dark or darker in color than the building's exterior. A Solar Reflectance Index (SRI) of 50 or less is required for all roof surface materials.
  - o Roofing materials that do not meet the color standard above may be made compliant by coating with elastomeric coatings or paint with a Light Reflective Value (LRV) of 40 or less.
  - o A roof color lighter than the building's exterior is allowable if the building's exterior is a very dark color, and restrictions for the SRI or LRV requirements stated above are met.
- Color may be chosen from a set of preapproved colors, listed below, established by the NCC. These colors have been carefully chosen for their compatibility with the natural environment, as well as their harmony with one another. Other colors, from this range, may be submitted to the NCC, but are subject to NCC approval.
- Consider the use of darker colors for homes on the ridges and in more exposed locations and lighter colors for homes which are not on the ridge.
- Colors for exterior artwork and sculpture should also be muted tones chosen to blend rather than contrast with the residence and surroundings.

## Accent Colors

Accent colors on front doors, window sashes and other architectural elements are allowed as long as, in the opinion of the NCC, the accent color does not overwhelm the building's basic color or create a visual distraction from the street, adjacent Lot, or Common Area.

## Pre-Approved Building Colors

All of the pre-approved colors have a light reflective value (LRV) of 40 or less and may be used anywhere in High Desert. Other colors may be submitted to the NCC for use on a specific Lot, but they must also have a LRV of 40 or less and must fall within the general color range listed below.

<b>El Rey Stucco Co.</b>		
Buckskin 106	Straw 122	Driftwood 111
Suede 118	Santa Fe Brown 120	Fawn 117
La Luz 125	Adobe 126	Cottonwood 115
<b>STO Stucco</b>		

Tumbleweed 1011	Pueblo 1005	Cimmaron 4180
Pecos 1001	Suede 1006	Abiquiu 1002
Mesilla 2207	San Antonio 1465	Sandia 1616
Amarilla 3003	Adobe Brown 1004	
<b>Oriental Exterior Stucco</b>		
Rancho Brown	Saddle Tan	Desert Adobe
Indian Beige	Mesa	Tierra Mocha
<b>Sonneborn</b>		
Tumbleweed 1011	Pueblo 1005	Cimmaron 4180
Pecos 1001	Suede 1006	Abiquiu 1002
Mesilla 2207	San Antonio 1465	Sandia 1616
Amarilla 3003	Adobe Brown 1004	Torreon 1001

## Roofs

Desert architecture is most commonly a “walled” architecture rather than the “roofed” architecture that is more common to regions with tall trees or heavy rain and snow fall. It is the intent of High Desert to maintain this desert tradition of walled architecture and discourage the use of pitched roofs and encourage the use of semi-flat roof styles or pitched roof designs with low slopes. Since roofscapes form an important part of the visual environment, they must be carefully designed. In keeping with our goals of visual harmony and sensitivity to the predominant Northern New Mexico styles, the NCC strongly discourages pitched roofs, in favor of flat or parapet types.

- Parapet copings shall be integral stucco, precast concrete, stone, brick or natural copper.
- Gutters, down spouts, scuppers, overflows, canals, and other water capture/control devices must be an integral component of the building’s design.
- Galvanized sheet metal, painted or otherwise fiberglass and plastic are considered inappropriate for copings or water control systems.

If pitched roofs are proposed they must comply with the following:

- Maximum slope of six (6) inches in twelve (12) inches.
- Tile roofs must be dark colored and have a non-reflective surface.
- Special care should be taken in locating skylights on pitched roofs to avoid the impact of reflectivity.

## Roof Forms

- Roof forms appropriate for use at High Desert
  - Flat roofs with overhangs
  - Combining of one and two-story elements
  - Parapets

- Varying plate and wall heights Semi-flat roof minimum ¼ inch per foot
- Roof planes to be no steeper than 6 inches in 12 inches
- Roof forms that may be used with approval of the NCC
  - Hip roofs
  - Gable roofs
  - Shed roofs
  - Dormers
- Roof forms that may not be used in High Desert
  - Domed roofs
  - Arched roofs
  - Mansard
  - Steeply pitched
  - Gambrel

## **Roof Materials**

- These roof materials are appropriate for use in High Desert:
  - Built-up roofing (non-reflective)
  - Single ply membrane (semi-flat roof only/non-reflective)
  - Cooper (oxidized)
- These roofing materials may be used with approval of the NCC
  - Built-up roofing (non-reflective) for flat roofs -- Single ply membrane (semi-flat roof only/non-reflective) for flat roofs
  - Concrete or clay roof tiles
  - Metal
- These roofing materials may not be used at High Desert
  - Asphalt or fiberglass shingles

- Barrel tiles
- Extruded "S" shaped tiles
- Wood
- Rolled roofing material on pitched roofs

## **Chimneys**

Metal flues shall be enclosed. The NCC will approve materials based upon aesthetic qualities only. While such materials must have sufficient fire-retardant qualities, no representation or guarantees are made by the NCC as to such qualities.

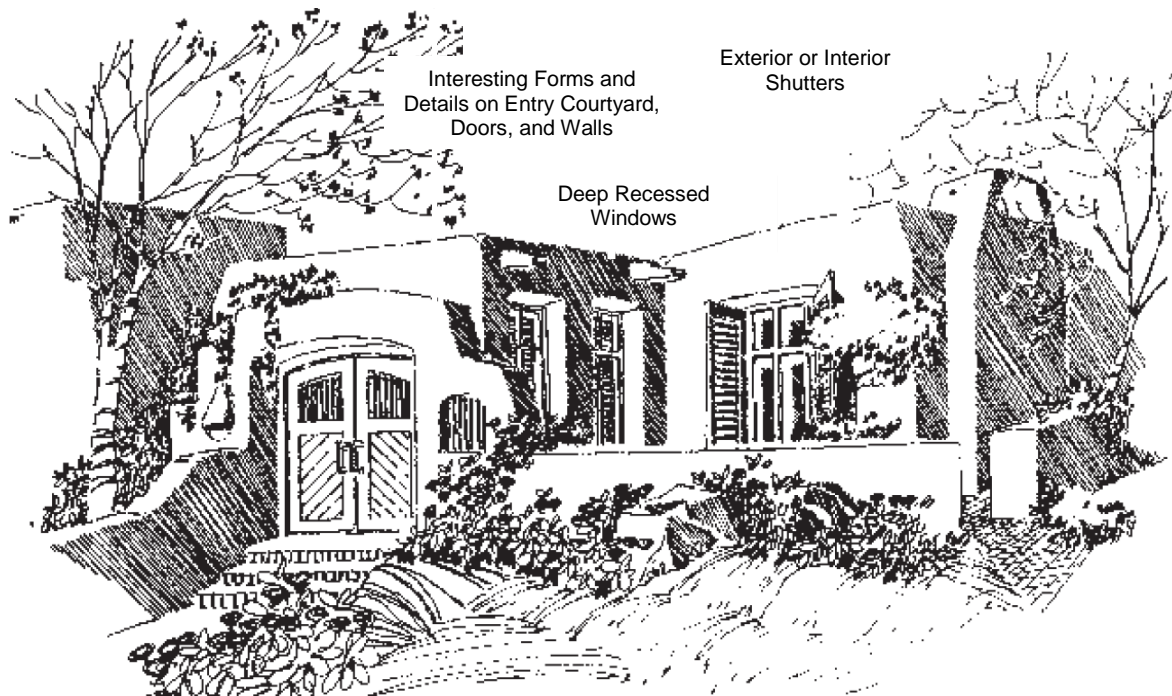
- Metal flue enclosures must be made of materials and designed to complement the style of the residence. If painted they must match or complement the exterior colors of the residence.
- Chimneys should be designed to be in scale and proportion with the architecture of the building.
- All exposed metal flues and flashings, etc., must be painted to match the chimney color.
- These chimney materials are appropriate for use at High Desert
  - Stucco to match house
  - Precast concrete
  - Stuccoed trim
  - Stone
- These chimney materials may be used with approval of the NCC
  - Brick
  - Metal
- These chimney materials may not be used at High Desert
  - Wood siding
  - Exposed concrete block
  - Exposed wood trim

## Doors and Entries

Doors and entrances should have simple, clean lines accentuating Southwest features and contemporary shapes.

- Exterior doorways and entryways should provide shade protection, depth and a strong shadow-line. They should provide a focal point at the entryway. Courtyards at or near the entry are encouraged.
- “Flat doors” with no detailing or overhang, doors or entryways with no elaboration or designation may not be used at High Desert.

### Entrance Doors and Windows



## Garage Doors

- Must be integrated into the design of the main house and materials must be integrated with the residence.
- The maximum garage door width is 18 feet.
- Any additional garage, after the first double door or two single doors, must be offset in massing by at least two feet horizontally.



- Garage doors must be setback from the face of the main wall a minimum 12".

## **Windows and Trim**

Windows are a prominent feature and should be considered carefully to blend with or complement the style of the home.

- Windows should be set deep into the walls to create a feeling of depth and massiveness.
- Window with colored sashes or frames are appropriate, with NCC approval.
- Unanodized and clear anodized aluminum window frames or mullions may not be used at High Desert.
- Copper trim, if unsealed, or treated with a patina finish, may be approved.

## **Columns and Arches**

Columns and arches should enhance the architectural theme by using contemporary lines within massive or monumental forms. Attention to detail must be given without appearing unnecessarily ornamental. Columns and arches should provide a feeling of strength, depth and interest at windows and entries.

- These columns are appropriate for use in High Desert
  - Square stucco/plaster
  - Rectangular stucco/plaster
  - Cylindrical stucco/plaster
  - Exposed wood
- These columns may be used with approval of the NCC
  - Stone
  - Metal
- These columns may not be used in High Desert
  - Ornate Corinthian
  - Siding covered
  - Ionic designs
  - Tuscan
  - Egyptian designs

## **Arches**

Arches at High Desert should be simple and integrate with architectural style.

- These arches are appropriate for use in High Desert
  - Massive
  - Segmented
  - Full arch
- These arches may not be used in High Desert
  - Gothic
  - Ogee

## **Elevated Decks**

- Deck support columns must have visual strength and size to give the appearance of substance, unless hidden from view.
- Second story or elevated decks shall be of materials and colors integral to the main building.
- Details of the flashing and scuppers to handle drainage are subject to review. Sheet metal shall be treated to minimize reflectivity.
- Undersides of decks should be finished. No exposed framing is allowed if visible from public view.
- Deck lighting shall comply with High Desert lighting standards in these guidelines.

## **Screens, Shades and Accessory Structures**

- Vertical or horizontal screens, shade covers, patio roofs, and other similar structures attached to the home (permanently, semi-permanently, or temporarily) shall be designed and constructed to match or complement the architectural style, materials, and colors of the home.
- Awnings whether fixed or retractable, may not be used in High Desert.
  - Fixed Awning: A protective covering of non-collapsible, rigid construction that provides weather protection, identity or decoration and is wholly supported by the building to which it is attached and the surface of which has a pitch sloping away from the structure.
  - Retractable awning: A movable awning that rolls or folds against a building or other structure by which it is entirely supported.
- Accessory structures, gazebos, play houses, cabanas, ramadas, equipment structures and enclosures, etc., shall be designed and constructed to match or complement the architectural style, materials, and colors of the home.

- The maximum height of any accessory structure cannot exceed 10 feet.
- Any accessory structure must be located within the Private Area.
- All screens, shades, and accessory structures require the approval of either the NCC or MC, as appropriate, prior to installation.

Note: The expectation and requirement is that deployable or movable screens and shade covers will be used on an occasional versus constant or near-constant basis. However, the NCC and MC will assess the fully deployed configuration in their evaluation for approval.

## **Play Structures**

Play structures should be sized, located and screened to not interfere with the visual harmony and enjoyment of the community by other owners in High Desert. Recreational opportunities in Private Spaces are important to families in the community. However, play structure size, material, color, location and screening should be carefully considered.

- All play equipment must be submitted to and approved by the NCC prior to installation or construction.
- All structural elements (permanent or temporary) must be located within the Private Areas.
- Maximum height of 10 feet, measured the bottom of the structure to the top of the structure.
- No moving parts are allowed, which are not integral to the function of the equipment. Prohibited items are, but are not limited to, flags, banners, pinwheels and horns.
- No bright or primary color will be allowed to dominate, or cover the majority of the play equipment/structure. Metallic and reflective colors (gold, silver, etc.) will not be allowed. Primary and bright colors may be used only as accents.
- Muted, pastel and secondary colors are required for the dominant area on all play structures/equipment in order to minimize visual distraction. Colors should blend with the landscape.
- To minimize the view and noise of play equipment landscape screening may be required. No play structures or play equipment is allowed outside of Private Areas.

## **Exterior Artwork**

Exterior artwork should be principally for the enjoyment of the owner and should be carefully integrated with the residence, site, and landscape design to ensure it does not dominate or detract from the environment, or create a negative visual impact on surrounding areas. Its placement, scale, and other characteristics, should not draw undue attention to it from other lots, streets, public areas, and it shall not substantially be outlined against the sky when viewed from other lots, streets or public areas.

- Exterior artwork includes free-standing and suspended elements as well as decorative elements applied to the faces of the residence. For the purposes of the artwork section “artwork” also includes sculptures and water features.
- No artwork shall be located on a lot on which no residence has been constructed.
- Artwork fully screened from other lots, streets and public areas is not subject to review or approval by either the NCC or MC.
- All artwork not fully screened (as viewed (1) from any point along the property line at a height of 63.5" and (2) from the street centerlines of streets directly adjacent to the property lines at a height of 42") and not meeting all the following criteria shall be submitted to the NCC or MC for approval prior to installation. Artwork not fully screened that meets all of the following criteria may be installed without seeking NCC or MC approval.
  - Its height, including any pedestal or other structure on which it is placed, does not exceed eight feet.
  - It does not include any reflective materials.
  - Its color or colors are all muted tones (generally earth tones).
  - It is wholly static and does not contain any moving parts except flowing water.
  - The element is not illuminated.
  - It is visually integrated with the residence and lot and is compatible with the architectural style of the residence.
  - Its placement, and scale, and other characteristics, are not such as to draw undue attention to it from other lots, streets, public areas, and it shall not substantially be outlined against the sky when viewed from other lots, streets or public areas.

The overall objective of the Guidelines that homes and all associated elements harmonize with the environment and each other must be met in the opinion of the NCC or MC. The NCC or MC shall have sole discretion in approving, or disapproving, any such exception from the general rules on screening. If there are any neighbor complaints about artwork that don't appear to fit the above criteria or meet the overall objective to harmonize with the environment, the NCC or MC will review the artwork for the Board to determine whether the artwork meets the intent of the Guidelines. If the artwork is found to be unacceptable, the owner will be required to remove it.

## **Preserving Air and Visual Quality**

Albuquerque is subject to thermal inversions which can contribute to a degradation of air quality. High Desert's goal is to maintain the highest standards of air quality. For this reason, certain provisions shall apply to the construction of fireplaces or solid fuel burning devices within High Desert.

- Wood burning fireplaces:
  - All wood burning fireplaces should be equipped with a gas-starter device.
  - 50% of the houses constructed in the HD/R-T Zone may have one (1) wood burning fireplace
  - Houses constructed in the HD/R-LT Zone are limited to one (1) wood burning fireplace
  - If townhouses are constructed in the HD/R-LT Zone they are subject to the HD/R-T Zone criteria
- No solid fuel burning device shall be allowed to burn coal.
- Natural gas fireplaces incapable of burning wood are exempt from these provisions including the limitation on number of fireplaces.
- All other fireplaces must be gas fired using artificial logs.

## **PROCEDURES FOR APPROVAL**

The Board of Directors of the Association enforces the High Desert Guidelines at its discretion. The NCC has exclusive jurisdiction over all residential construction in High Desert and assures compliance with these Guidelines. In addition to the design criteria contained within High Desert Guidelines for Sustainability, planning and design within High Desert is addressed in:

- Declaration of Covenants Conditions and Restrictions for High Desert Residential Properties
- City of Albuquerque Codes and Ordinances
- High Desert Sector Development Plan
- Village Supplemental Guidelines

### **Design Review Procedures**

The design review process was developed to provide adequate checkpoints to minimize the time and money spent on achieving residential designs consistent with the Guidelines and the overall philosophy of High Desert. This process has been structured to eliminate delays. Nevertheless, each owner is responsible for complying with the Guidelines and all other applicable provisions of the Declaration, as well as all the rules and regulations of any governmental authority, in order to bring the design review process to a speedy and satisfactory conclusion. Owners are strongly encouraged to be involved in the design review process and attend the Pre-Design and Pre-Construction Meetings.

## **Cash Construction Deposit**

Prior to the NCC plan approval to proceed with construction, the owner will be required to post a cash deposit as assurance of their intent to comply with the provisions of these Guidelines. Handling and return of the deposit is described in the HDROA NCC policy available on the HDROA web site.

## **Approval Process**

1. The Pre-Design Meeting
2. The First Plan Review
3. The Final Plan Review
4. Pre-Construction Meeting
5. Construction Review
6. Post Construction Submittal/Final Inspection

## **Pre-Design Meeting**

To initiate the review and approval process prior to preparing any drawings for a proposed improvement, it is necessary that the Owner and/or Architect meet with a representative of the NCC to discuss the proposed residence and to explore and resolve any questions regarding building requirements, interpretation of the Guidelines, or the design review process. This informal review is intended to facilitate an efficient planning and design process and to offer guidance prior to the initiation of preliminary design. An appointment for the Pre-Design Meeting should be made at least one week in advance.

- To assist in the design process the NCC can provide the contact information to obtain a topographical map of the property in hard copy and in Auto-Cad disk format.
- It is the responsibility of the owner to verify all property elevations, grades, and benchmarks.
- Owners are strongly encouraged to attend the Pre-Design Meeting with their architect **or** builder.

## **Checklist for Sketch Plan Review Submittals**

- Site plan at a scale no less than 1" = 20' on a 24" x 36" or a 30" x 42" sheet
- Roof Plan and Floor Plans at no less than 1/4" = 1'0".
- Exterior elevations of all sides of the residence, at the same scale as the floor plans.

- Preliminary landscape plan at the same scale as the site plan.
- Grading and drainage plans.(only if changes are made to original City approved plan)
- Any other drawings, materials, or samples requested by the NCC.

## **First Plan Review Submittal**

Three (3) sets of preliminary drawings, including all of the required exhibits, must be submitted to the NCC after the Pre-Design Meeting. The owner is responsible for the accuracy of all information. First Plan Review Submittals shall include:

- **Site Plans:** Show boundaries, dimensions, locations, the residence and all other buildings or major structures, driveway, parking areas, patios, pools, walls, trash enclosures, proposed utility service facilities and routes, site grading, including existing and proposed utility easements, existing and proposed contours at two foot intervals, and topographic features such as washes, rock outcroppings and existing trees and major shrubs to be retained and relocated, and elevations of all building floors, patios, and terraces, shown in relation to site contour elevations. All accessory uses contemplated on the lot must be shown in this drawing. Grades, elevations, boundaries must be field verified by owners surveyor, or engineer. Survey benchmark and elevation information may be obtained from the NCC.
- Show all floor plans and roof plans indicating areas of flat and sloped roofs and all skylights and roof mounted equipment such as air conditioning units, solar collectors, etc.
- **Elevations:** Show both existing (natural) and proposed finish grade lines and spot elevations, indicate all exterior materials and general colors, window specifications as well as elevations (heights) of all parapets and roof ridge lines. All dimensions must be shown and masses indicated. The natural grade elevations, at the low point and the high point, adjacent to the proposed structure must be indicated. The elevation of the highest point on the proposed structure, excluding chimneys, must also be indicated and the height from the low point adjacent to the proposed structure to the highest point on the structure must also be indicated.
- **Preliminary Landscape Plan:** Show the general locations, sizes, quantities and species of plant materials proposed, including proposed transplanting plan.
- **Staking:** To assist the NCC in its evaluation of the First Plan Review Submittal, the owner may be required to provide preliminary staking at the locations of the corners of the residence or major improvements and other locations.
- **Maximum Height:** For more information regarding this requirement refer to the Building Heights in the Architecture Section.

## **Checklist for Final Plan Review Submittals**

- Complete construction documents.
- Sample of all exterior materials, colors and glass specifications.

- All exterior artwork within the Private Area and not fully screened from other lots, streets and public areas, must be depicted on plans submitted for approval. The submittal must include color photographs or drawings including either a scale or dimensions and. As applicable, the submittal must include specifics as to materials, moving parts, and noise generation.
- **Landscape Plan.** Showing the landscape treatment of all Natural, Transition and Private Areas. These plans should be the same scale as the site plan. Indicate areas (if any) to be irrigated, names, quantities, locations and sizes of all existing and proposed plants any decorative features such as pools, imported rocks or sculptures. Also show any plans for transplanting native materials. All disturbed areas in the Transition and Natural Areas must be re-vegetated within thirty days after completion of the home.
- **Lighting Plan:** Showing location, types of illumination, fixtures, lamps, reflectors and other devices. Supply catalog cut sheets and light source specifications.
- **Schedule:** Indicating approximate dates for starting and completion of construction, utility hook-up, completion of landscaping work, and anticipated occupancy date.
- **Construction Fencing Plan.**

## **First Plan Review**

The NCC will review the First Plan submittal for conformance with the Guidelines and provide a written response, which will generally include a "redlined" set of the First Plan documents with comments by the NCC to the owner within fifteen business days.

## **Final Plan Review Submittal**

After review of the First Plan, and response from the NCC to the Owner the following issues should be addressed and documents are to be submitted to the NCC for final approval:

- Final Plan Submittal must address all previous NCC comments. The "redlined", or comment copy of the First Plan must be returned with the Final Plan Submittal.
- The owner is responsible for the completeness and accuracy of all information. All spot elevations must be field verified by owner's surveyor or engineer using elevation benchmarks which can be obtained from the NCC.
- Construction Documents: Three complete sets of construction documents must be submitted and must include all information necessary to demonstrate compliance with the Guidelines. Include all utility locations, electric and gas meter, telephone and electric pedestals and transformer locations, manufacturer's catalog cut sheets of all exterior fixtures. All dimensions and masses, as required on the First Plan Submittal must be indicated. All fireplaces, including outdoor fireplaces, must indicate if they are wood burning or gas.



- Samples: The NCC may require samples of all exterior materials and colors, window and glass specifications, outdoor light fixtures and specifications and accent items including color photographs of any exterior artwork. If requested, these should be mounted on a manageable size board and indicate the owner's name, date, lot number and street address.

## **Final Plan Approval**

- The NCC will review the submittal for conformance with the Guidelines and provide a written response to the Owner within fifteen business days.
- Incomplete Final Plan Submittal: If at the time of Final Plan Submittal, the owner has not selected colors, materials, light fixtures, or other such items, including landscape plans and the plans are otherwise in compliance with the Guidelines and approved by the NCC; the Final Plan Approval will be conditioned on the requirement that these issues and items are approved by the NCC prior to their installation.
- The NCC will provide a letter of approval and a set of the Final Plan submittal documents stamped and signed by the NCC.

## **Resubmittal of Drawings**

In the event of disapproval by the NCC of either a First Plan or Final Plan Submittals, the resubmission of drawings must follow the same procedure as the original submittal.

## **Pre-Construction Conference**

Construction may not proceed before the Pre-Construction Conference and the Owner and Builder have signed the Construction Regulations. Please see the Construction Regulations Section of these Guidelines for more information.

## **Construction Review**

The NCC may review the building and lot during construction for conformance with these Guidelines and the approved building, grading and drainage plans. The NCC may have the NCC engineer field verify location, structure location, pad, finished floor and building heights during construction.

## **Additional Construction and/or Exterior Changes**

Any changes to the plans approved by the NCC, either before start of construction, or during construction must be submitted and re-approved by the NCC before construction of any proposed changes begins.

## **Variance from Guidelines and Procedures**

The Declaration provides that a variance from any of its Guidelines and procedures may be

authorized by the NCC when special circumstances require.

- Rules and Regulations for granting a variance may be obtained from the NCC.
- A variance can only be granted when, in the sole and absolute opinion of the NCC, a unique circumstance dictates.
- A variance may only be granted when there are unique circumstances, including but not limited to such issues as topography, natural obstructions, hardship, aesthetic or environmental considerations.
- Granting of variances is not lightly undertaken by the NCC. It is strongly suggested that applications for a variance by an owner only be considered under extreme circumstances.
- The brief notice and description of variance issues in these Guidelines is not intended to replace the Rules and Regulations for granting a variance. It is intended only to put the reader on notice that a variance procedure is in place.

### **Post Construction Submittal/Release of Deposit**

- During or after construction of the building, foundations, floor slabs, privacy walls and grading within the lot, final as-built grades and horizontal dimensions of the top of footing walls, adjacent finished grades, and finished floor elevations shall be provided to the NCC. The accuracy of the final as-built drawings and grades shall be certified by the owners engineer or surveyor.
- The information will be reviewed for compliance with the Approved Final Plan Submittal. Deviations from the Final Plan Submittal must be addressed and approved or rectified to conform with the Approved Plan.
- This information will be submitted to the City of Albuquerque Public Works Department by High Desert to complete the final certification of the subdivision's improvements.
- Before the Owner's/Builder's Construction Deposit will be returned, the Final Inspection, as detailed in the Construction Regulations of these Guidelines, must be successfully completed. All construction, including required landscaping must be complete.
- Before the owners Construction Deposit will be returned, the NCC may field verify all submittals for accuracy. The NCC may require the owner, at owner's cost, to field verify height or other features.

# **CONSTRUCTION REGULATIONS**

To assure that the intent of these Guidelines is incorporated into the building process and that the natural landscape of High Desert is not unduly damaged during construction, the following Construction Rules shall be part of the NCC requirements for building in High Desert. The NCC will monitor construction to assure that building is proceeding in accordance with the Guidelines. Owners will be notified of any inconsistencies.

## **Responsibility**

Lot owners at High Desert have the ultimate responsibility for the actions and activities of builders, contractors, subcontractors and suppliers as they relate to these Guidelines. If the NCC encounters problems of compliance with these Guidelines during the course of construction the NCC will notify the owner. It is the owner that is responsible for compliance with the Guidelines.

## **Typical Construction Sequence**

- 1) Provide Cash Deposit
- 2) Pre-Construction Conference
- 3) Sign Construction Regulations
- 4) Receive Approved Final Plan from NCC
- 5) Commence Construction
- 6) Fence Transition Area
- 7) Restore Transition Area
- 8) Complete Construction
- 9) Final Inspection
- 10) Return Cash Deposit

## **Pre-Construction Conference**

A meeting with the NCC prior to any construction activity is required to review procedures and clarify logistics. The NCC requests that both the owner and builder attend this conference and that the owner and builder sign a copy of the Construction Regulations agreeing to comply with them.

When the Final Plans have been approved by the NCC, Cash Deposit received, Pre-construction Conference held and Construction Regulations signed by the owner, builder and the NCC, the construction may start. Construction may not proceed before the Construction Regulations are signed.

## **Work In Progress-Inspection**

The NCC may and will inspect work in progress. Any evidence of non-compliance with the Guidelines will be communicated to the owner and builder. Lot owners at High Desert have the final responsibility for compliance with the terms and conditions of these Guidelines and the Declaration. During construction, the Transition Area must be fenced. Prior to the start of construction the right-of-way must be protected.

## **Commencement of Construction**

Once plans have been approved by the NCC, the owner must begin construction within one year (the date construction is deemed to have started is the date on which the Construction Regulations are signed by the NCC) and substantially complete construction one year thereafter.

## **Non-Waiver**

Any approval by the NCC of drawings, specifications, work done or proposed, or in connection with other matters requiring approval under these Guidelines or the Declaration, including a waiver by the NCC, shall not be deemed to constitute a waiver of the right to withhold subsequent approval. For example, the NCC may disapprove an item shown on the Final Plan Submittal even though it may have been evident and could have been, but was not disapproved at the Sketch Plan Review. An oversight by the NCC of non-compliance at any time during the review process, construction process or during its final inspection, does not relieve the owner from compliance with these Guidelines and all other applicable codes, ordinances and laws.

## **Construction Trailers, Etc.**

Any owner or builder who desires to bring a construction trailer, field office, or the like to High Desert shall obtain written approval from the NCC by submitting a copy of the site plan with proposed locations of the construction trailer or field office, the portable toilet, and the trash receptacle. Temporary structures must be removed before the Final Inspection.

## **Fencing**

To protect the Natural Area of a lot from damage during construction, the NCC requires a fence, at least six feet high, to be installed completely enclosing the construction area and the Transition Area.

- The fence shall follow the alignment of the Transition Area, shall have a single entrance located at the driveway entrance, and shall be maintained intact until the completion of construction. The distance between the fence and the planned improvement can be no greater than seven feet but may encroach into the Natural Area. If greater than seven feet is required, NCC approval is required.
- The construction trailer, (if any), portable toilet, construction material storage and dumpsters must all be contained within the chain link fence.

- In special cases, the NCC may allow materials to be stored outside the fence when approved in advance by the NCC.
- The fence must be installed no later than the time footings are completed; however, the NCC may require that the fence be installed earlier.

## **Debris and Trash Removal**

Trash and debris shall be removed from each construction site frequently and not be allowed to accumulate. During construction, each construction site or the route to and from the construction site, shall be kept neat and clean, and shall be properly policed to prevent it from becoming a public eyesore.

- Builders shall clean up all trash and debris on the construction site as needed. However, the site must be cleaned each Friday.
- Builders must clean up blowing trash and debris from their job site that is on adjacent lots or Open Space.
- Temporary concrete or other material “wash pits” must be in approved locations and removed and remediated by the contractor after completion of construction.
- Lightweight materials, packaging, and other items shall be covered or weighted down to prevent their being blown off the construction site.
- Builders are prohibited from dumping, burying, or burning trash anywhere on High Desert except as expressly permitted by the NCC.
- Unsightly dirt, mud, or debris from activity on each construction site and on the adjacent public street must be promptly removed and the general area cleaned.

## **Sanitary Facilities**

Portable toilets or similar temporary toilet facilities shall be located only within the fenced Transition Area or in an area approved by the NCC.

## **Vehicles and Parking Areas**

- Construction crews shall not park on, or otherwise use, other lots or any open space.
- When parked on the street, all vehicles shall be parked consistent with City ordinances.
- Construction vehicles must be on the paved surface unless they are parked on the owner’s property.

## **Conservation of Landscape Materials**

Builders are advised that the lots and open spaces of High Desert contain valuable native plant and other natural features, such as topsoil, that should be absolutely protected during construction.

### **Excavation Materials**

Excess excavation materials must be hauled away from High Desert at the time of excavation and not stored on the site.

- Concrete cleanup must be done so as not to affect the Natural Areas of a lot or allow run-off to flow into Natural Areas, streets, drainage easements, or other lots.

### **Blasting**

If any blasting is to occur, the NCC must be informed far enough in advance to make sure that the applicant has obtained the advice of expert consultants that blasting may be accomplished safely. These consultants must advise the NCC in writing.

- No blasting or impact digging causing seismic vibrations may be undertaken without the approval of the NCC based upon such advice from a qualified consultant.
- Applicable governmental regulations concerning blasting must be observed and all required permits obtained.
- The NCC's only responsibility is to require evidence of such consultant's expertise and shall have no liability for the blasting.

### **Restoration or Repair of Other Property Damages**

Damage to any property, open space or other lot, including, but not limited to roads, driveways, concrete curbs, gutters, utilities, vegetation and/or other improvements, resulting from construction operations, will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly and any expenses are those of the owner causing the damage.

### **Dust and Noise Control**

The High Desert community must be protected from dust and noise arising from construction activities.

- Contractor shall maintain a program of dust and erosion control at all times during construction and until cut and fill areas are stabilized and planted areas established.
- The Builder shall be responsible for controlling dust and noise, including (without limitation) music from the construction site in accordance with the City of Albuquerque Environmental Health Regulations.

## **Construction Access**

The only access, during the time a residence or other improvement is under construction, will be over the approved driveway for the lot, unless the NCC approves an alternative access point. Only one construction access shall be permitted onto any lot, except with the written approval of the NCC. If an additional construction access is approved, the NCC may limit the location use and duration of the access.

## **Miscellaneous and General Practices**

All owners will be responsible for the conduct and behavior of their agents, representative, builders, contractors, and subcontractors while on the premises of High Desert. The following practices are prohibited:

- Fuels, lubricants and other petrochemicals must be handled in accordance with government regulations. Protect against construction equipment leaks or discharges of fuels or lubricants. Contain petrochemical spills including contaminated soil and dispose of it at approved sites.
- Changing oil on any vehicle or equipment on the site itself or at any other location within High Desert other than at a location (if any) designated for that purpose by the NCC.
- Allowing concrete suppliers, plasterers, painters, or any other subcontractors to clean their equipment anywhere but the location specifically designated (if any) for that purpose by the NCC.
- Disturbing or removing any rocks, plant material, topsoil, or similar items from any property of others within High Desert including adjacent property and other construction sites.
- Disposing carelessly of cigarettes and other flammable material.
- Fires of any type including campfires and the burning of waste material or trash.
- Carelessly treating or removing protected plant materials or plants not previously approved for removal by the NCC.
- Disposing of trash or any other material on any lot or property in High Desert.

## **Preservation of Archaeological Sites**

A detailed archaeological survey has been conducted for High Desert. While there are no known archaeological sites on any of the building lots, artifacts may be encountered during the construction process. If artifacts are encountered during construction, follow appropriate governmental regulations.

## **Daily Operation**

Daily working hours for each construction site shall be from 30 minutes before sunrise to 30 minutes after sunset unless other hours are designated in writing by the NCC. Construction on Saturday and Sunday shall not start before 7:30 AM and must end by 5:30 PM.

## **Final Inspection**

The owner of any residence or other improvement under construction shall give written notice to the NCC when the structures are complete. Within 20 days of such notice the NCC will inspect the residence and/or improvements. If it is found that any work was not done in compliance with the approved Final Plan Submittal and these Guidelines, it shall notify the owner in writing, specifying in reasonable detail the particulars of non-compliance, and shall require the Owner to remedy the same. If within 30 days of the NCC's notification, the owner has not corrected the items of noncompliance, the NCC may take such action to remedy this non-compliance as is provided for in these Guidelines or the Declaration including, but without limitation, injunctive relief or the imposition of a fine.

All construction must be completed and in compliance with the Final Plan approved by the NCC, including restoration of disturbed Transition and Natural Areas. All construction must be completed and in compliance with the Final Plan approved by the NCC.

- Any Transition and Natural Areas that have been disturbed must be restored.
- The Construction Deposit will be returned after the Final Inspection has been satisfactorily completed by the NCC.

## **Enforcement**

In addition to such other rights which are specifically granted in these Guidelines, in the Declaration and in the By-Laws of the Association, the High Desert Residential Owners Board of Directors has the power to impose reasonable fines, which shall constitute a lien upon the Unit of the violator.

Any structure or improvement placed or made in violation of the Declaration and the Guidelines shall be deemed to be nonconforming. Upon written request from the NCC, owners shall, at their own cost and expense, remove such structure or improvement and restore the land to substantially the same condition as existed prior to the nonconforming work. Should an owner fail to remove and restore as required, the Board or its designees shall have the right to enter the property, remove the violation, and restore the property to substantially the previously existing condition.

In addition to the foregoing, the Association shall have the authority and standing to pursue all legal and equitable remedies available to enforce the provisions and decisions of the NCC.



# Appendix A – Subdivision Planning

## Subdivision Design

The following demonstrates the general concepts, suggestions, and planning principles for designing a builder home subdivision. These concepts are described in greater detail throughout this document.

- Extend pedestrian access from the ends of appropriate cul-d-sacs.
- Grading plan should attempt to minimize the use of high retaining walls while at the same time keeping a low profile for the neighborhood by attempting to match existing grades at edges of the neighborhood.
- A parcel can be divisible into multiple neighborhoods to create smaller villages with distinct images.
- Provide deeper lots along interior streets to provide a greater visual buffer where appropriate.
- Attempt to group driveways in pairs as shown to minimize streetscape disturbance. There will be no curb cuts along divided streets.
- Attempt to limit two story buildings along the Tramway right-of-way and other perimeter streets.
- Consider orienting garage doors perpendicular to street whenever possible rather than parallel to street.
- Encourage cul-de-sac configurations along boulevards and vary building setbacks along right-of-way.
- Create mini-parks within the interior of the parcel and at the ends of major access streets.
- Provide views to the arroyo at the end of streets.
- Use view walls, or no walls, between parcel and open space.
- Prevent developed storm water from entering natural arroyo.
- Builder must landscape the front yard area with native plant materials from the approved list. The landscape plan should be an integrated plan for the entire neighborhood.
- Attempts to minimize obtrusiveness of light standards.
- Vehicular entry roads should align with developments opposite.

- Create sidewalk system that provides for continuous movement from block to block.
- Zero lot line houses may be considered to provide more open space.
- Strongly suggested that no more than 10 lots should be aligned in an unbroken line.
- Non-native plant materials are allowed only in side and rear yards enclosed by walls.
- Create divided roadway with planted median at entry.
- Provide travel connections to open space and the community.
- Maintain native arroyo vegetation. Supplement with additional native plantings of same character and minimize disturbance to these areas.
- Provide water harvesting to supplement and enhance water to natural open spaces.

## **Streets**

Design Objective: Design of streets within High Desert will provide safe and efficient vehicular circulation while creating streetscapes which contribute to pleasant neighborhood environments. To meet this objective, streetscape plans establish a hierarchy of landscape improvements that are appropriate in scale and character with the function of the street and its adjacent uses.

- All landscape, walkways, walls, and streetscape improvements installed along streets or drainage ways shall be designed and constructed in accordance with the streetscape exhibits which follow.
- Roadways should, to the extent practical, wind and follow the natural terrain.
- Arroyos, to the extent practical, will be left free and unimpeded in their natural state.
- Natural terrain features including slopes, ridges, knolls and rock formations should be carefully considered and integrated to the extent possible.
- The City has final approval regarding the street design standards.

## **Neighborhood Entries**

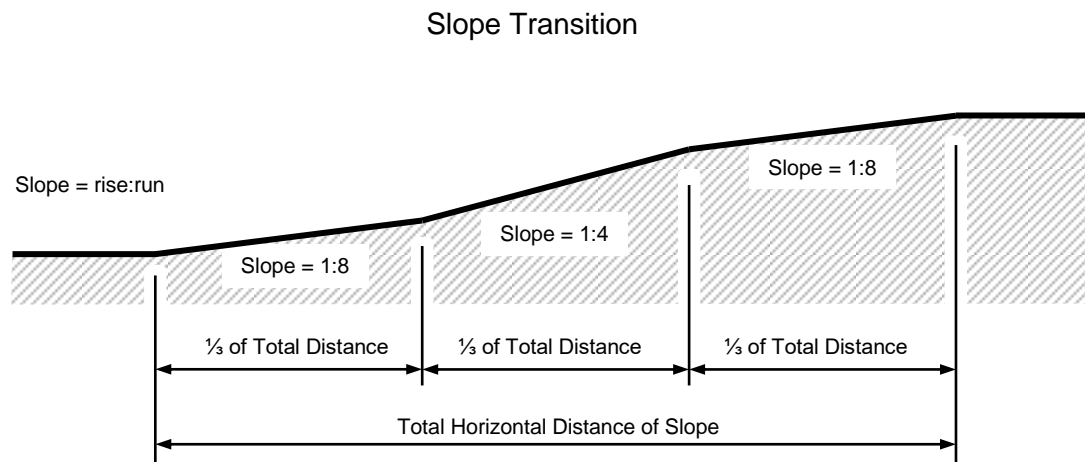
Clusters of homes developed by a single builder or developer will make up the neighborhoods at High Desert. Subject to the approval of the NCC, freestanding site walls, bollards, planters or gate posts may be allowed at the neighborhood entrance.

- “Drive under” entrances using beams or arches spanning the driveway are prohibited.

- Neighborhood entries should be located so as to minimize their visual impact on important natural features of a Parcel such as large or significant plant materials, washes or drainage ways, and should also minimize disruption of the existing landscape.
- Temporary for sale signage will be allowed only during the initial sales period and all signs shall be of the High Desert community approved signage program and in compliance with City sign codes.
- Neighborhood signs and entry features should harmonize with the community walls and must be approved by the NCC.

## Grading

Design Objective: To create smooth slope transitions between grade changes, integrate buildings and site improvements into the site, minimize heights and the negative impacts of grading during construction, encourage the use of landforms as a landscape design element, and should also attempt to match grade at property boundaries. The grading plan for a tract should attempt to minimize the use of fill material at tract boundaries. The profile of a grade change should be gradual with the slope transition ratios shown in the diagram.



### Consider the following recommendations to reduce excessive grading

- Street layouts should minimize cut and fill
- Building with internal steps and multiple levels
- Low retaining walls and building stem walls
- Berms and landscaping to blend cuts and fills
- Areas to be filled with off-site material must have a grading and re-vegetation plan.

- Fill material must be spread and compacted when deposited to avoid the appearance of a dump site.
- The creation of stockpiles must be approved by the NCC and grading plans must include information about stockpiles including the location, size, erosion control measures, and length of time that they will remain.
- Where grading is in public view, create smooth slope transitions between grade changes.
- Grading shall be contained inside the parcel property line, unless approved by the NCC.
- No cutting, filling or earthwork disturbance from construction vehicles may overlap onto adjacent property unless approved as part of construction documents.
- Minimize the use of retaining walls, especially along tract boundaries.
- Minimize the use of fill material along property boundaries so that homes are not sited appreciably above the grade which originally existed. This is especially important along major streets.
- Planting of disturbed areas should be completed normally within 30 days of final grading. Consideration should be given to soil environment and best planting times.
- Cuts and fills should be minimized to reduce visual impact.
- Use of solid masonry or concrete footing stem walls may be required to minimize lot grading and to preserve natural land forms especially adjacent to open space.
- Builders are responsible for conducting soils analysis for determining construction suitability and methods.
- Paved area slope requirements:
  - Minimum slopes for paved areas is 0.5%
  - Maximum slope for paved Streets and Driveways 10% (short runs)
  - Maximum slope for paved walkways 5%
- Design Objective: To provide safe and efficient drainage. To preserve drainage easements and arroyos so they blend into the community and serve as open space and landscape amenities.

## **Drainage, Easements, and Arroyos**

A fundamental intent of the High Desert plan is combining development with the preservation and enhancement of the natural arroyos connecting the City to the mountains. All of the major arroyos in the Estate and Premier home areas are maintained in their natural landforms, and the vegetation

is preserved and enhanced. The engineering firm employed by High Desert, in conjunction with the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA) performed studies on each arroyo system, which resulted in easements being placed over each of the arroyo systems. The easements are granted jointly to AMAFCA and the Association. The boundary lines of the easements are referred to as the Erosion Limit Line, or Prudent Line. The easement over each of the arroyo systems provides the Association the obligation and right to perform minor erosion and landscape maintenance within the easement. AMAFCA has the obligation and right to perform more serious erosion control and other maintenance issues. The property Owner is relieved from the necessity of maintaining this area. These Arroyo Easements also preserve their open space and natural scenic qualities.

- No improvements, driveway crossings, culverts, bridges, utility crossings, drainage improvements, etc., may be placed in the arroyo easements without obtaining an encroachment license from AMAFCA (at expense of Owner) and approval of either the NCC.
- Water harvesting facilities may be placed in the easements only after obtaining an encroachment license from AMAFCA and approval of the NCC.
- Arroyo easements may be located on the private property of an individual lot owner, but are not a trail system, or open to the public.

The primary function of the natural arroyos in High Desert is to safely convey the upland storm water flows through the property. Their function is not to receive free discharge of storm water flows from adjacent developed parcels that could cause damage to the natural arroyo system. Development that is adjacent to natural arroyos may be required to manage flows from the developed areas of their lots through water harvesting, or other techniques that prevent negative impact. No developed flows into the natural arroyos shall be allowed and no surface runoff will be allowed to enter other developments or arroyos. Techniques to assure compliance with these provisions must be defined in drainage plans for each parcel, and approved by NCC prior to the start of construction.

- The developer/builder may enhance vegetation on the parcel, including within any drainage easement, through the addition of plant materials which are native to the vicinity of the property and/or the approved plant list. However, the addition of such native plant materials shall not reduce or restrict arroyo flows, or redirect arroyo flows to cause damage. In general most specimens, especially woody varieties, will only be allowed along arroyo banks, or in vegetated “islands” in the middle of the arroyo which will not impair arroyo flows or induce bank erosion.
- Drainage systems shall be protected to maintain all weather vehicular access on public streets and drives.
- Adjoining properties and developments shall be protected from flooding. No surface runoff will be allowed to enter other properties.
- Set finish floor elevations according to federal and local flood requirements.

- Drain water away from buildings.
- Paved curbed outlets used to drain developed parcels to exterior streets are to be designed to blend with the streetscape and, where possible, be used as walkways.
- Neighborhood developers must incorporate the water harvesting program engineered for High Desert into the drainage and water conservation programs when developing adjacent to open space. The design of the water harvesting system must be approved by the NCC.
- The drainage plan for the neighborhood or tract must conform to the High Desert Master Drainage Plan and be approved by the NCC and the City of Albuquerque.
- Conventional grading and drainage concepts for Builder Tracts are in general, appropriate for High Desert.

## **Utilities**

Design Objectives: To incorporate utility structures into the neighborhood in a visually unobtrusive manner, and to integrate utility easements into the neighborhood open space system.

- All electric service, telephone, and cable television lines shall be located underground.
- Where possible, above ground utility appurtenances, visible from public streets, including electric transformer switch and junction boxes, telephone switch and junction boxes, cable television switch and junction boxes, gas vents and valves, and irrigation controllers and valve boxes, shall be located no closer than 75 feet from the corner of two residential collectors, and 140 feet from the intersection or arterial streets, neighborhood or residential collectors. These setbacks can be modified with NCC approval provided appurtenances are substantially screened from view by landscaping or the neighborhood wall system.
- Where possible, electric switch boxes should be placed on the non-walkway side of streets. When they must be on the walkway side, they may be adjacent to walls.
- In no instance are walkways to jog around switch boxes.
- Where the placement of walls does not provide adequate space for switch boxes, the walls shall be set back to provide the required clearances.
- Concrete pads for all utility appurtenances shall not be more than 6 inches above the adjoining finish grade or at the same elevation and flush with the adjoining walkways.
- The color of concrete pads and concrete surrounds for fire hydrants, water meters, junction boxes, and other utilities shall be approved by NCC.
- No utility appurtenances including water meters, junction boxes, telephone switch boxes, or electrical switch boxes shall be constructed in the walkway.

- Fire hydrants shall be located in accordance with City standards. It is not desirable to have fire hydrants placed in detached walkways.
- Architectural style of individual utility buildings should reflect the character of the surrounding buildings.

## Tennis Courts and Other Sport/Recreational Surfaces

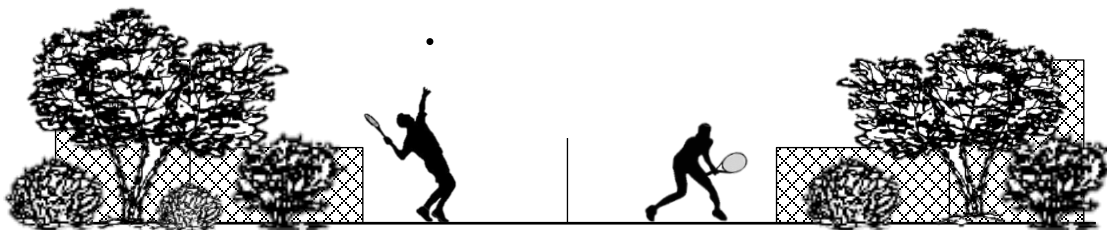
**Design Objectives:** To create the most inconspicuous tennis court or sport/recreation area possible.

- Any grading required to create a level playing surface must achieve a balance of cut to fill.
- The playing surface must be screened from view of neighboring lots.
- A combination of solid walls and approved colored fencing (black or anodized bronze) is recommended and may be required. The height of perimeter protection may be limited if, in the opinion of the NCC, such devices would be unattractive. Galvanized fencing will not be allowed.
- Vinyl or PVC coated chain link may be allowed with NCC approval.
- Additional landscaping with native trees may be required to mitigate the court's visibility from nearby streets, lots and common areas.
- Ramadas, storage rooms, and connecting walkways must be visually integrated with the main house and surrounding landscape.
- Add landscaping to blend tennis courts with surrounding area. (see below)
- Use dark colored fence fabric to reduce into surroundings visual impact of tennis courts.

### Tennis Court Design

Utilize landscaping to blend court into surroundings

Utilize neutral colored fence material to reduce visual impact of court



## Walkways and Trails

Design Objective: High Desert will create a community walkway and trail system to link neighborhood residential areas, community facilities and public amenities. High Desert walkways and trails are intended to provide safe, functional and aesthetically pleasing walkways within and between development parcels and to create connections which allow all residents maximum pedestrian access throughout High Desert.

- Developers of neighborhood parcels are responsible for connecting walkways within the parcels to the community walkway system in accord with the Sidewalk Connection details as well as City standards.
- Where possible, walkways should be located and aligned to maximize views of surrounding natural features and community open space.
- Curved walkways should be designed as sweeping curves that create visually appealing landscape forms. Abrupt or irregular curves and jogs should be avoided. Curved walkways should not be used in areas too narrow to allow a sweeping curve.
- All walkways within single-family projects and neighborhood focus parcels shall be a minimum of 4 feet wide.
- All walkways should be handicapped accessible. Where site or development conditions make full handicap access infeasible, an alternative handicapped route must be designed.
- Curb drops shall be uniformly constructed to City specifications wherever a walkway crosses a curb.
- Curb drops shall be located in the center of the street crosswalk.
- Curb drops should occur as a natural extension of the walkway, allowing pedestrians to pass from a walkway, down a ramp and onto a street crossing without deviating from the direction of the walkway or crossing.
- Walkway and trail design and color must be approved by NCC.
- Handicap access shall be provided at a primary entrance to all public buildings. All walkways must conform to the City of Albuquerque regulations and constructed in accordance with all applicable standard specifications. Consult the Uniform Building Code and Americans with Disabilities Act Standards for complete requirements.

## Lot or Subdivision Replating

In the event a subdivision or lot within a subdivision requires replating after the plan was approved by the NCC, follow the general procedures in the Guidelines for Estate and Premier Homes, specifically the Building Envelope Changes section.



